



**TOWN OF BARNSTABLE Planning & Development Department Barnstable
Historical Commission**
www.town.barnstable.ma.us/historicalcommission

Town Clerk Stamp

NOTICE OF INTENT TO DEMOLISH A SIGNIFICANT BUILDING

Date of Application 1/28/2022 Full Demotion Partial Demolition

Building Address: 258 Tower Rd
Number Street

Osterville, MA 02655 Assessor's Map # _____ Assessor's Parcel # _____
Village ZIP

Property Owner: Elmer & Eleanor David (850) 960-8300
Name Phone#

Property Owner Mailing Address (if different than building address) _____

Property Owner e-mail address: edavis5625@aol.com

Contractor/Agent: Great Day Improvements / Katherine Clark

Contractor/Agent Mailing Address: 602 Academy Dr. Northbrook, IL 60062

Contractor/Agent Contact Name and Phone #: Katherine Clark - 630-270-7062
Name Phone #

Contractor/Agent Contact e-mail address: katherine@mach1pd.com

Demolition Proposed - please itemize all changes:

No demolition required

Type of New Construction Proposed: 19.33'X14.0' Unconditioned Sunroom Addition

Provide information below to assist the Commission in making the required determination regarding the status of the Building in accordance with Article 1, § 112

Year built: 1856 Additions Year Built: _____

Is the Building listed on the National Register of Historic Places or is the building located in a National Register District?
No Yes

Katherine Clark
Property Owner/Agent Signature







GREAT DAY IMPROVEMENTS, BOSTON
DAVIS RESIDENCE

DRAWING #	DESCRIPTION
1	COVER
2	ELEVATION "B" & "D" WALL
3	ELEVATION "A" & "C" & "E" WALL
4	DECK PLAN
5	ROOF PLAN
6	STANDARD DECK DETAILS
7	STANDARD DECK DETAILS
8	SYSTEM DETAILS
9	SYSTEM DETAILS
10	SYSTEM DETAILS

MINIMUM DESIGN LOADS: PER 2015 IRC W/ 9TH EDITION
MA AMENDMENTS

SUNROOM CATEGORY II (PER 2015 IRC R301.2.1.1.1
& AAMA / NPEA / NSA 2100)

SNOW LOADS: GROUND SNOW LOAD 30 PSF

ULTIMATE DESIGN WIND SPEED: 152 MPH, 3 SEC. GUSTS

LIVE LOADS:
1. ROOF: 30 PSF
2. FLOOR: 40 PSF

THIS SUNROOM IS NOT TO BE CONDITIONED
OR USED AS A PERMANENT LIVING AREA.

- NOTES:
1. ALLVIEW (CV7) SUNROOM; WHITE IN COLOR
 2. CONSTRUCT SUNROOM ON NEW DECK
 3. NO HEAT BY GDI; ELECTRICAL BY GDI
 4. ALL DECK LUMBER IS PRESSURE TREATED SYP #2 OR BETTER
 5. THIS SUNROOM IS CONSIDERED AS NON-CONDITIONED SPACE, EXEMPT FROM ENERGY REQUIREMENTS (PER 2015 IRC SECTION N1102.1, NOTE 2)

THIS SUNROOM AND FOUNDATION HAVE BEEN EVALUATED FOR DESIGN LOADS REQUIRED BY THE IRC CODE. THIS INCLUDES ALL MATERIALS, COMPONENTS, CONNECTIONS, AND ATTACHMENTS WHEN CALCULATING THE LOAD REQUIREMENTS.

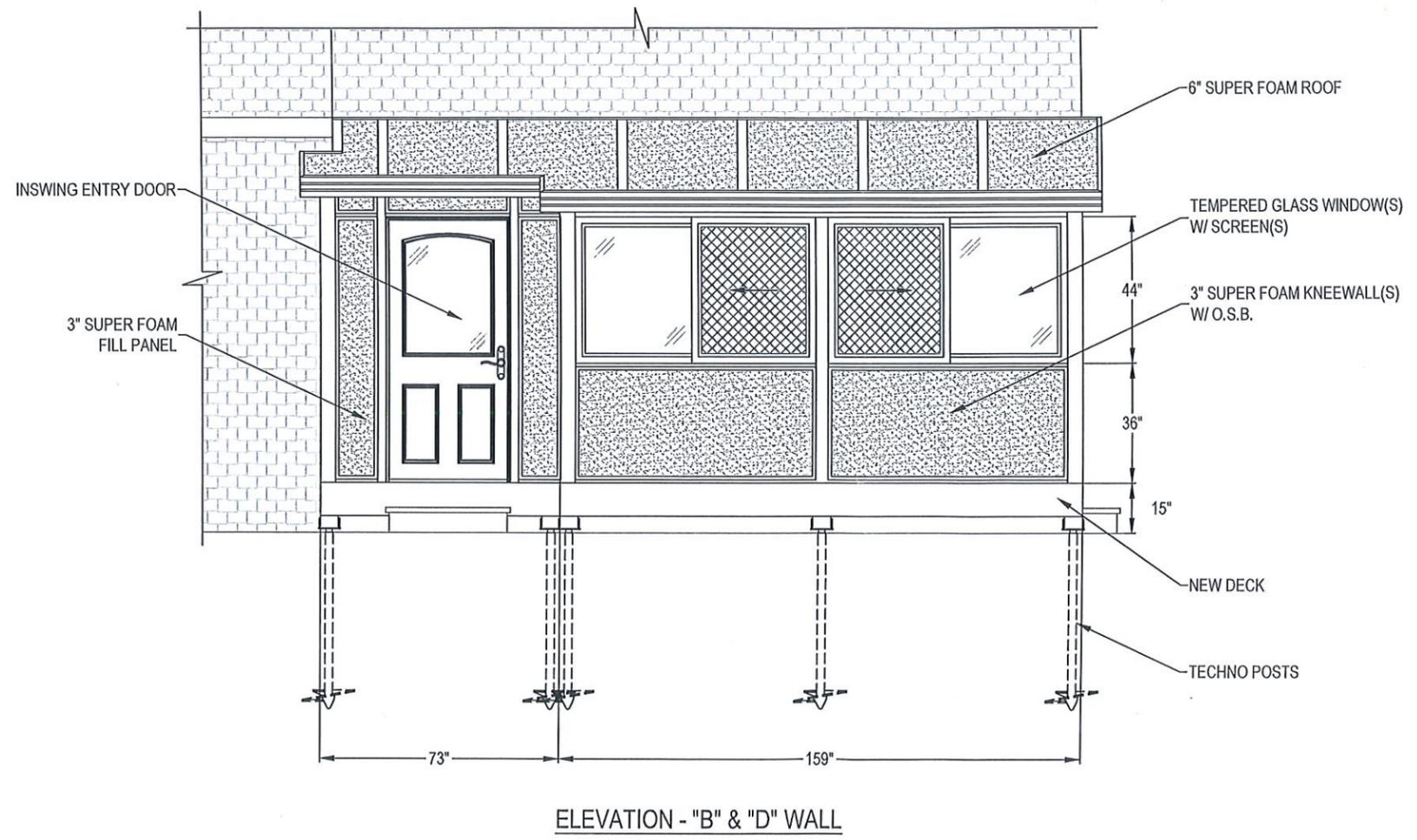


NOV 19 2021

JAMES A. CLANCY, P.E., L.S.
MA. PROFESSIONAL ENGINEER (MA. LIC. #46775)
601 ASBURY AVENUE
NATIONAL PARK, N.J. 08063
PH. # 856-853-7306

<u>LOCATION</u>	GDI - BOSTON 250 CAPE HIGHWAY, UNIT 8 EAST TAUNTON, MA 02718 508-822-1966
<u>ELMER DAVIS & ELEANOR DAVIS</u>	258 TOWER HILL ROAD COSTERVILLE, MA 02655 JOB # 38472
<u>DATE</u>	11/17/21
<u>DRAWN</u>	PIH
<u>SCALE</u>	1/4" = 1'-0"
<u>SHEET</u>	1 OF 10

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ELEVATION - "B" & "D" WALL



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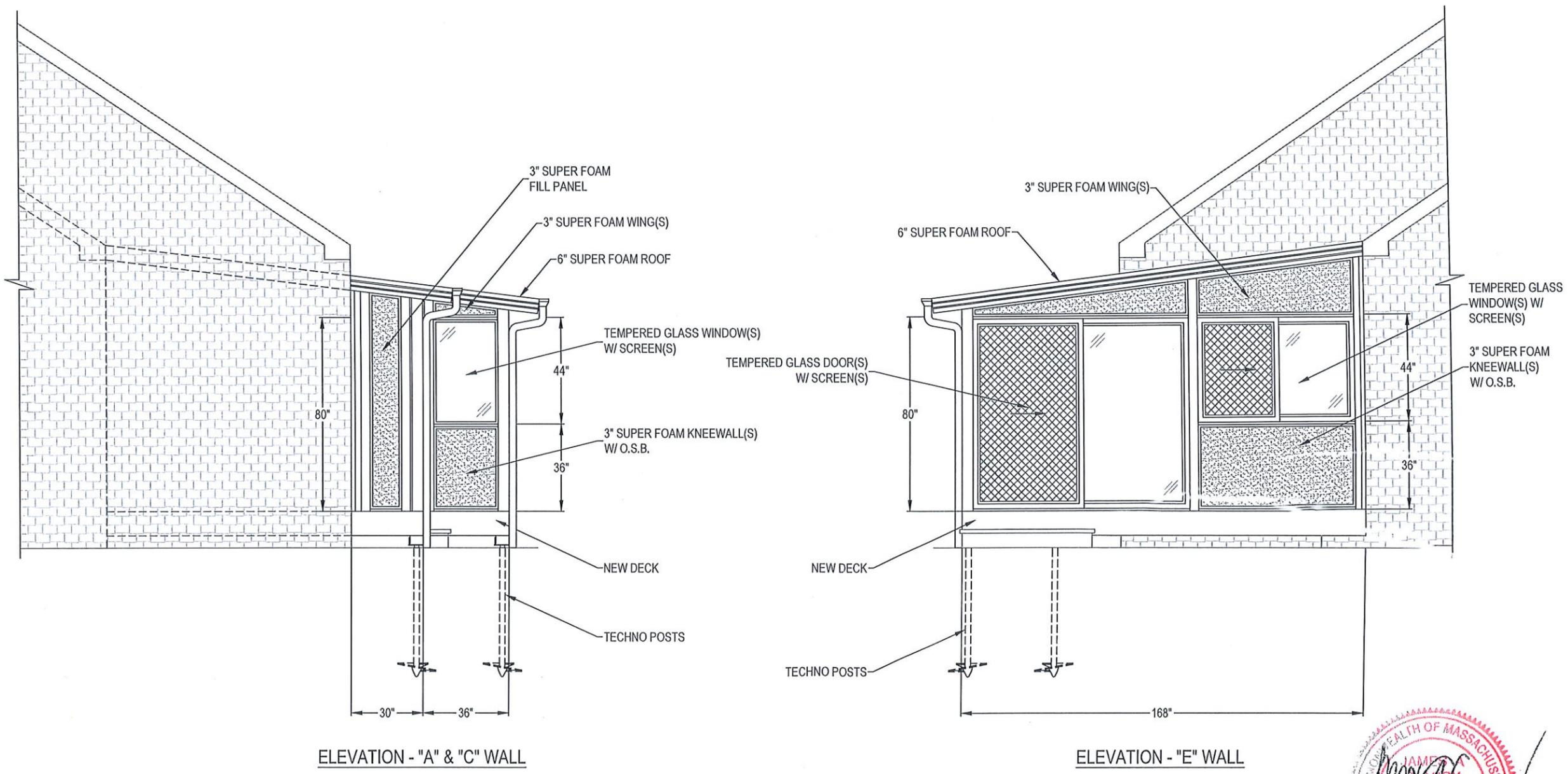
DATE	11/17/21
DRAWN	PIH
SCALE	1/4" = 1'-0"
SHEET	2 OF 10

ELMER DAVIS & ELEANOR DAVIS
 258 TOWER HILL ROAD
 OSTEYVILLE, MA 02655
 JOB # 3, 8472

LOCATION
 GDI - BOSTON
 250 CAPE HIGHWAY, UNIT 8
 EAST TAUNTON, MA 02718
 508-822-1966



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 JOI 3 # 38472

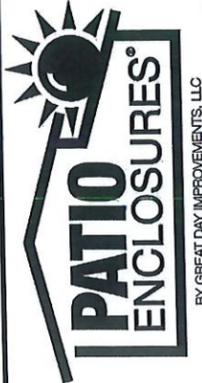
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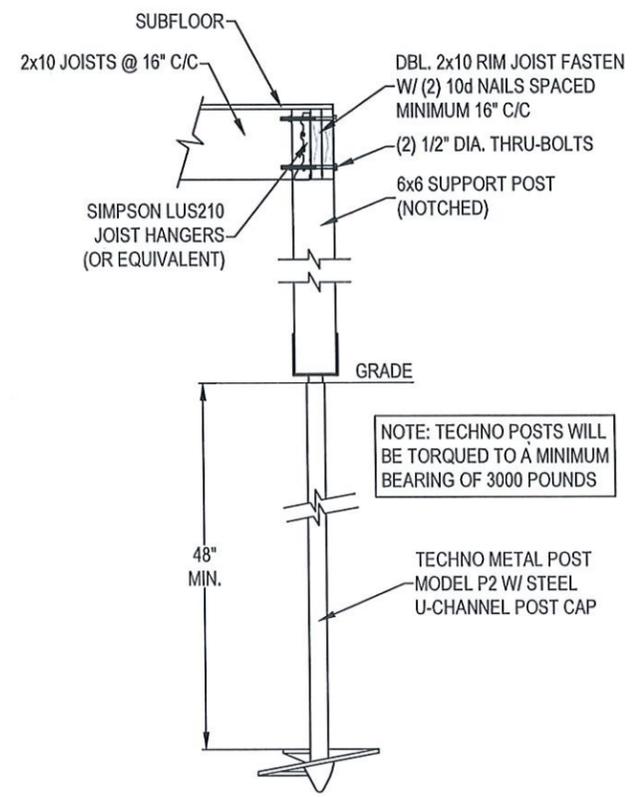
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SCALE	1/4" = 1'-0"
SHEET	3 OF 10

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BY GREAT DAY IMPROVEMENTS, LLC

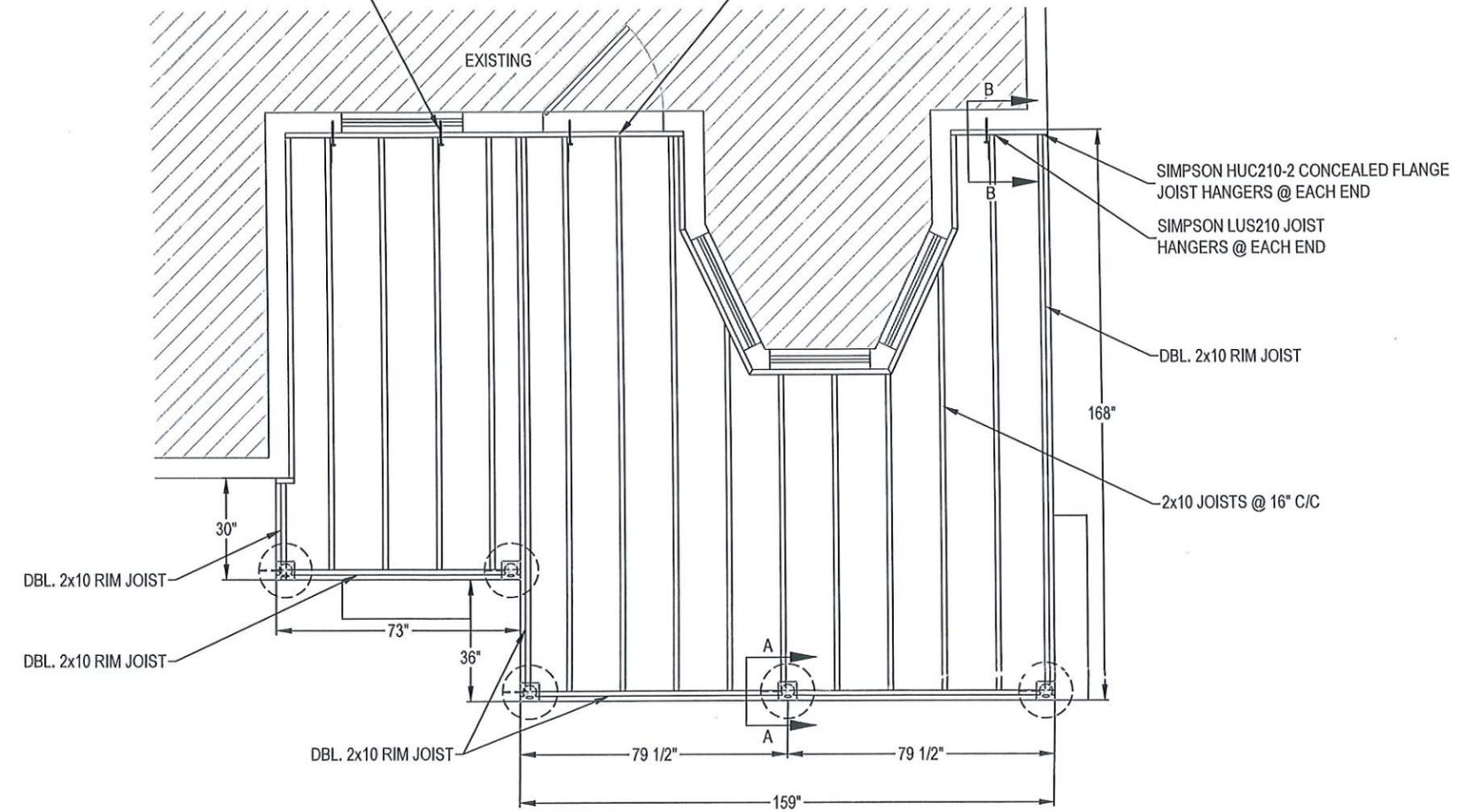


SECTION A-A
SCALE: 1/2" = 1'-0"

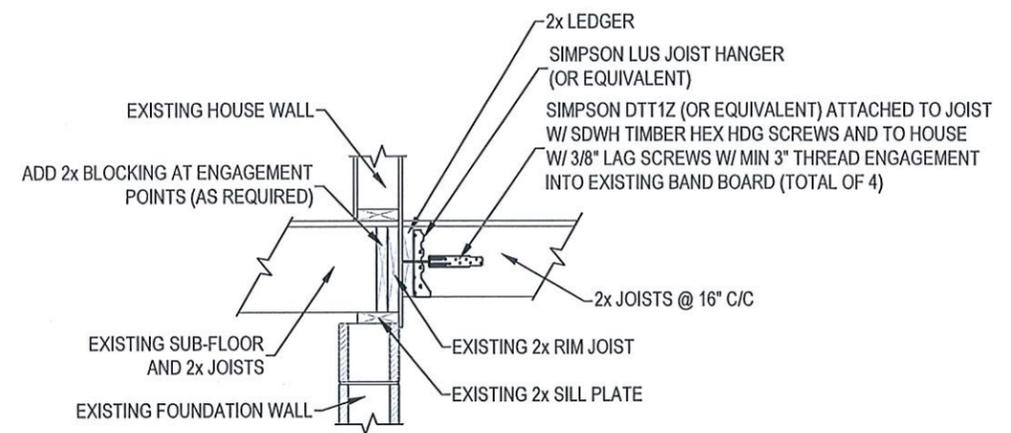
NOTE: TECHNO POSTS WILL BE TORQUED TO A MINIMUM BEARING OF 3000 POUNDS

SIMPSON DTT1Z (OR EQUIVALENT) ATTACHED TO JOIST W/ SDWH TIMBER HEX HDG SCREWS AND TO HOUSE W/ 3/8" LAG SCREWS W/ MIN 3" THREAD ENGAGEMENT INTO EXISTING BAND BOARD (TOTAL OF 4)

2x10 LEDGER BOARD W/ 1/2" DIA. LAG SCREWS W/ MIN. 1 1/2" THREAD ENGAGEMENT INTO EXISTING STRUCTURE @ 16" C/C STAGGERED



DECK PLAN
SCALE: 1/4" = 1'-0"



SECTION B-B
SCALE: 1/2" = 1'-0"

LOCATION
GDI - BOSTON
250 CAPE HIGHWAY, UNIT 8
EAST TAUNTON, MA 02718
508-822-1966

ELMER DAVIS & ELEANOR DAVIS
258 TOWER HILL ROAD
OSTERVILLE, MA 02655
JOB # 38472

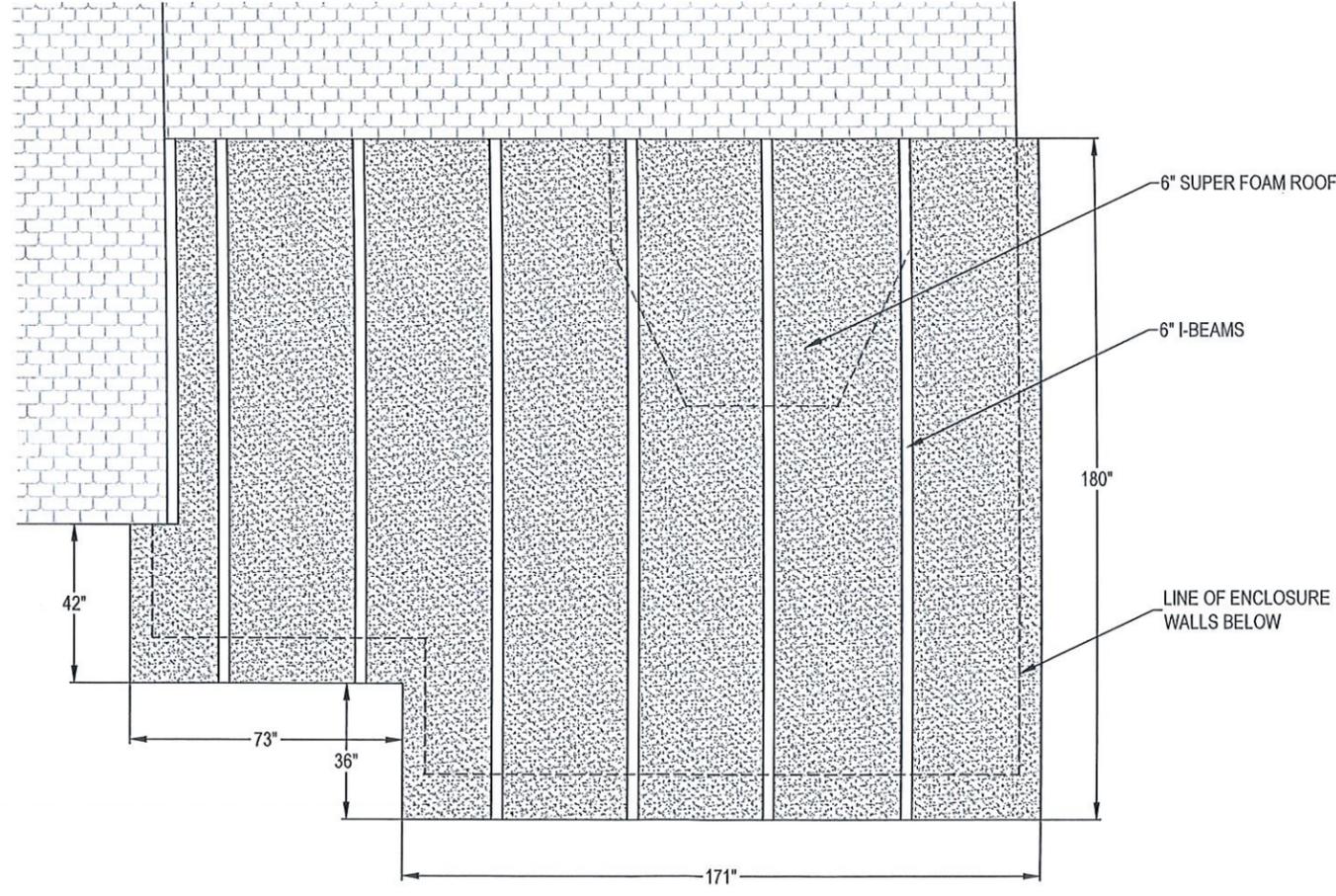
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DRAWN	PIH
SCALE	AS NOTED
SHEET	4 OF 10

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ROOF PLAN



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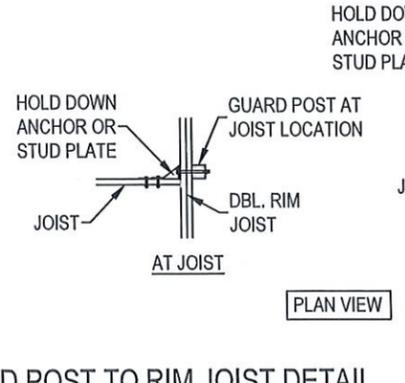
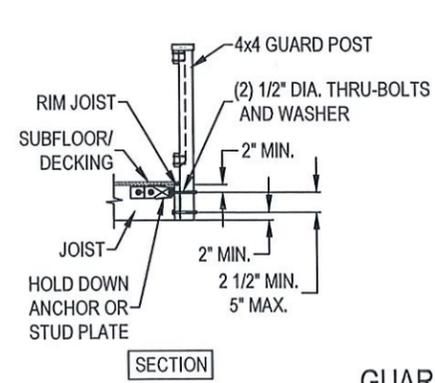
DATE	11/17/21
DRAWN	PIH
SCALE	1/4" = 1'-0"
SHEET	5 OF 10

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 OSTERVILLE, MA 02655
 JOB # 38472

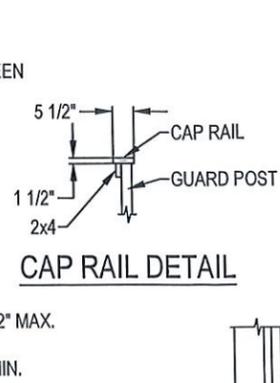
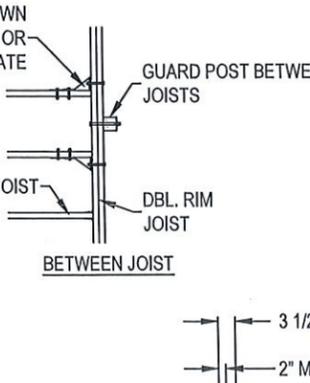
LOCATION
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 508-822-1966



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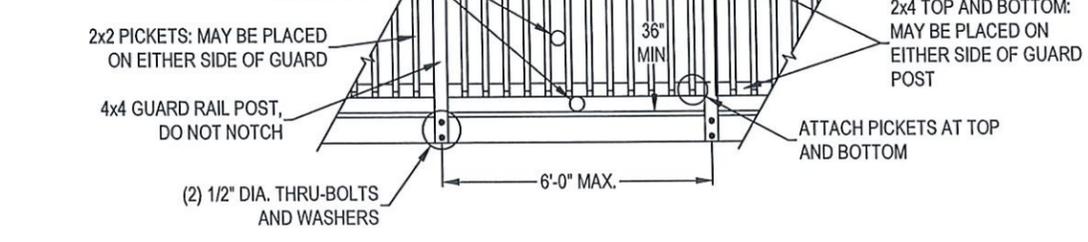


GUARD POST TO RIM JOIST DETAIL

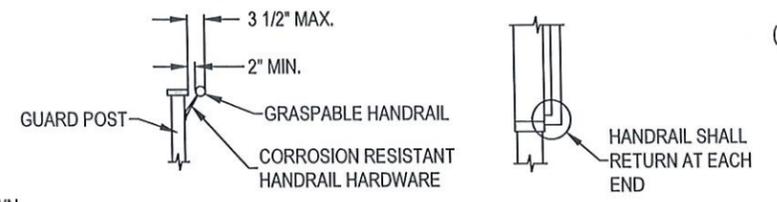


GUARD POST TO OUTSIDE JOIST DETAIL

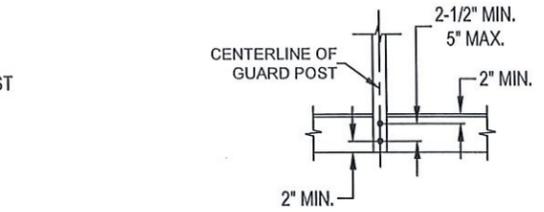
OPENINGS SHALL NOT ALLOW THE PASSAGE OF A 4" DIA. SPHERE; WET LUMBER MUST BE SPACED SUCH THAT WHEN SHRINKAGE OCCURS, THE MAXIMUM OPENING IS MAINTAINED



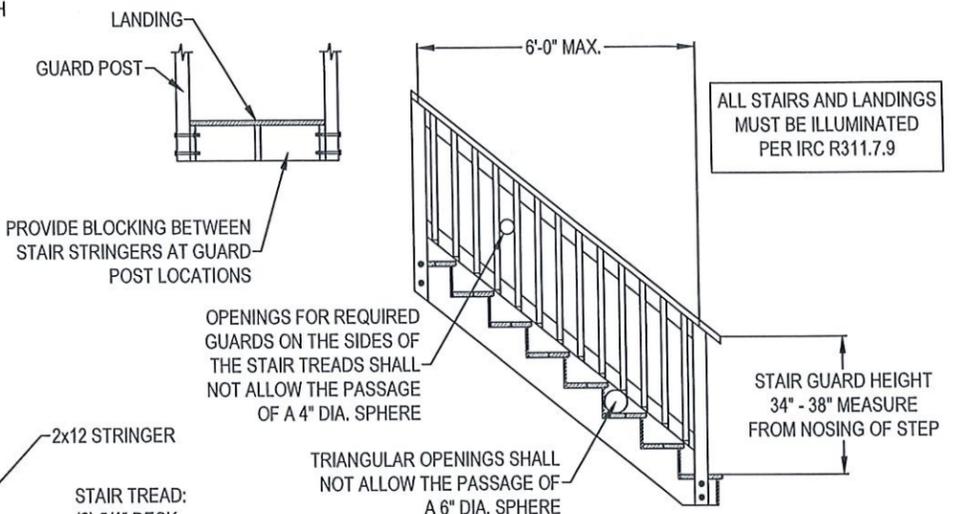
GUARD DETAIL



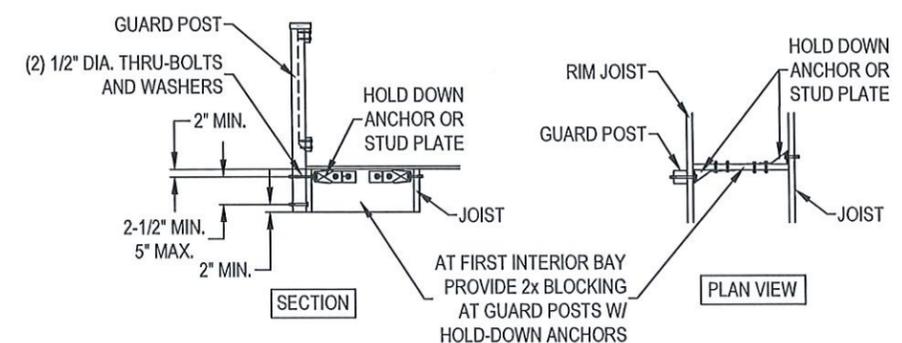
HANDRAIL DETAIL



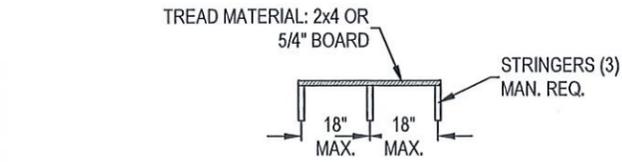
GUARD POST ATTACHMENT DETAIL



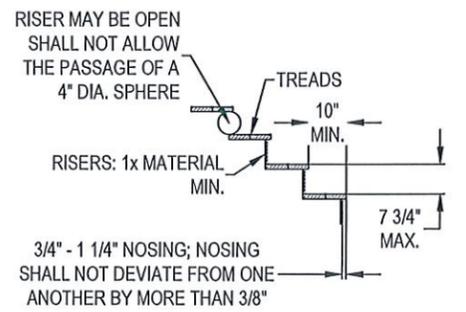
STAIR GUARD REQUIREMENTS



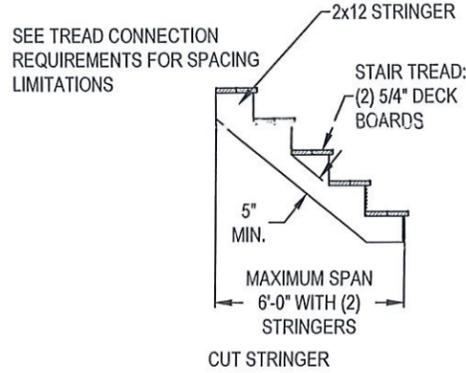
GUARD POST TO OUTSIDE JOIST DETAIL



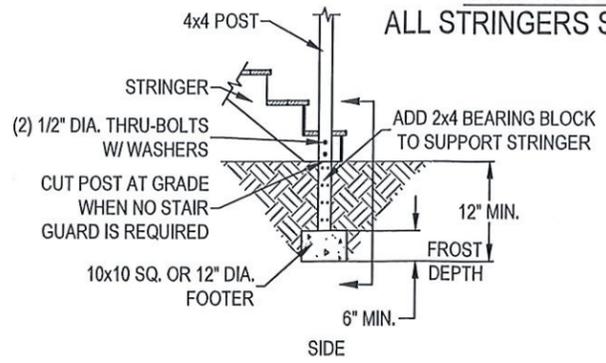
TREAD CONNECTION REQUIREMENTS



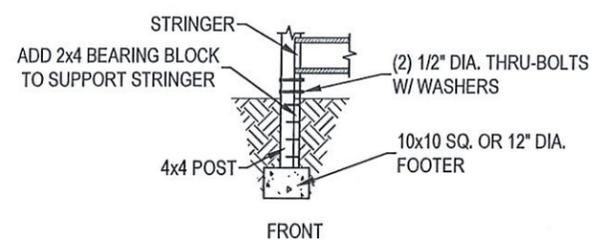
TREAD AND RISER DETAIL



STAIR STRINGER REQUIREMENTS
ALL STRINGERS SHALL BE A MINIMUM OF 2x12



STAIR STRINGER BEARING AT GRADE DETAIL

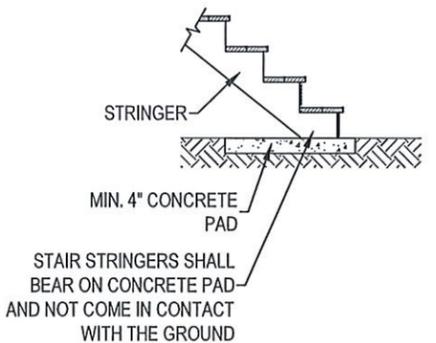


FRONT

THESE DETAILS WERE TAKEN FROM THE PRESCRIPTIVE RESIDENTIAL WOOD DECK GUIDE BY THE AMERICAN WOOD COUNCIL

ALL SCREWS, BOLTS AND NAILS FOR USE WITH PRESSURE TREATED WOOD SHALL BE HOT DIPPED ZINC COATED GALVANIZED STEEL OR STAINLESS STEEL

NOTE: THIS PLANS WERE DESIGNED WITH AND REQUIRED THAT ALL LUMBER MUST BE MINIMUM RATED SYP #2 OR BETTER PRESSURE TREATED PER AWWPA (AMERICAN WOOD PROTECTION ASSOCIATION) STANDARDS



STAIR STRINGERS SHALL BEAR ON CONCRETE PAD AND NOT COME IN CONTACT WITH THE GROUND



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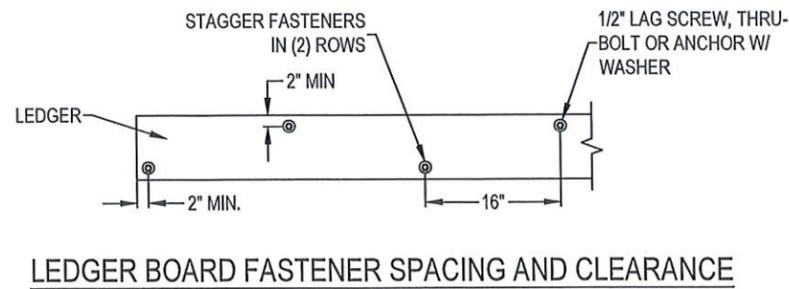
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LOCATION
GDI - BOSTON
250 CAPE HIGHWAY, UNIT 8
EAST TAUNTON, MA 02718
508-822-1966

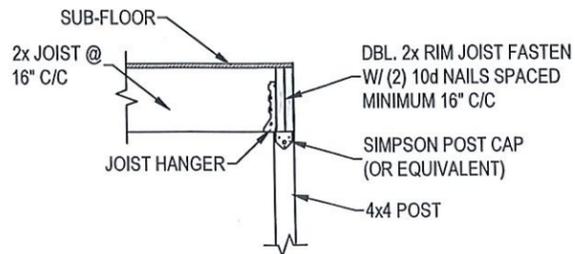
ELMER DAVIS & ELEANOR DAVIS
258 TOWER HILL ROAD
OSTERVILLE, MA 02655
JOB # 38472

DATE	11/17/21
DRAWN	PIH
SCALE	1/4" = 1'-0"
SHEET	6 OF 10

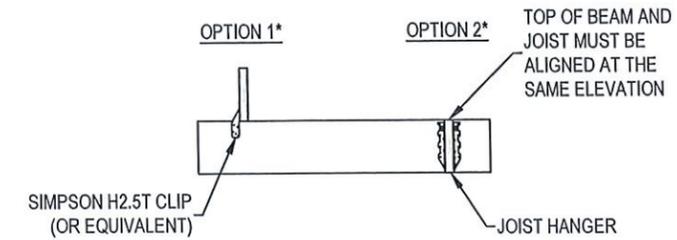
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LEDGER BOARD FASTENER SPACING AND CLEARANCE

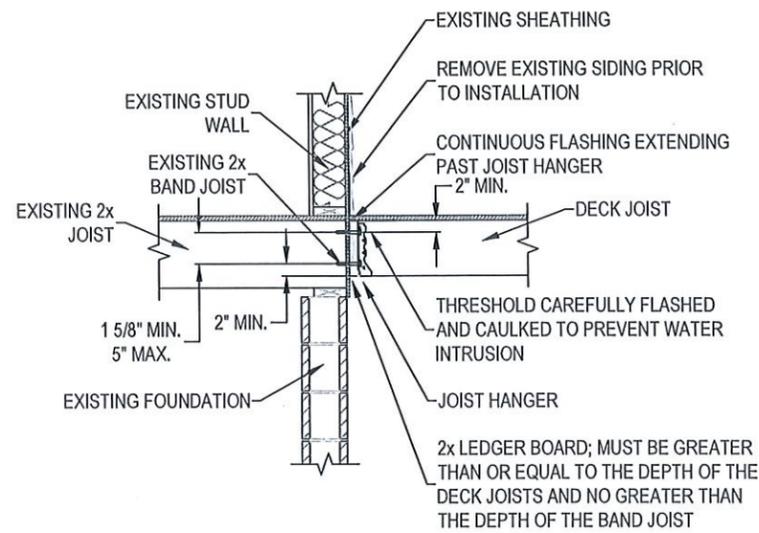


RIM JOIST DETAIL

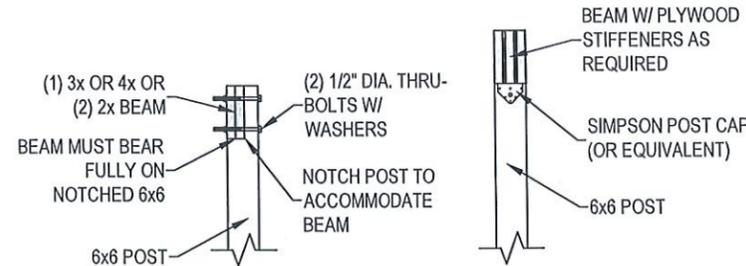


JOIST TO BEAM CONNECTION DETAIL

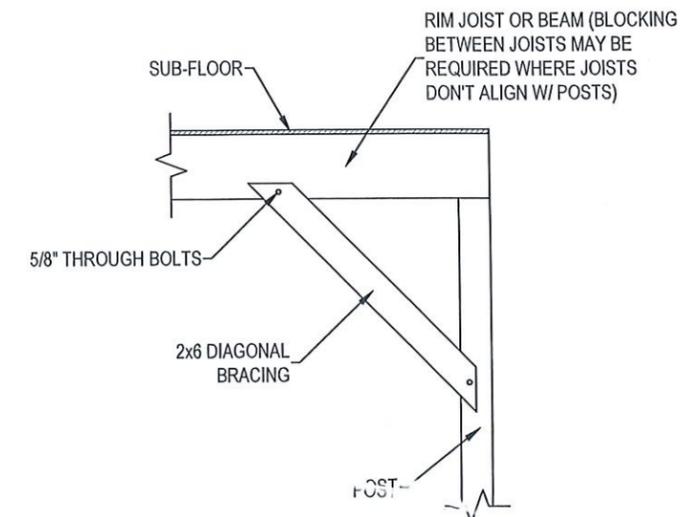
* SEE MANUFACTURERS RECOMMENDATIONS FOR ADDITIONAL REQUIREMENTS



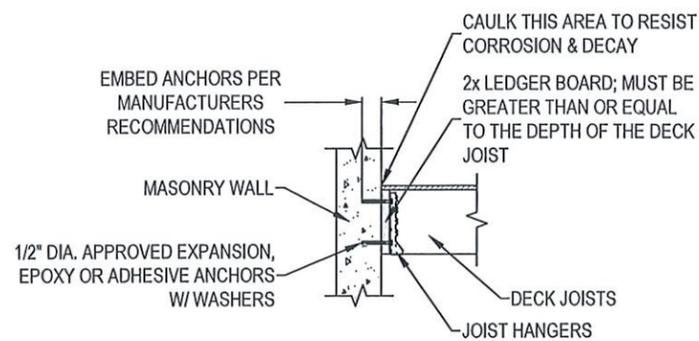
LEDGER BOARD ATTACHMENT DETAIL - BAND JOIST



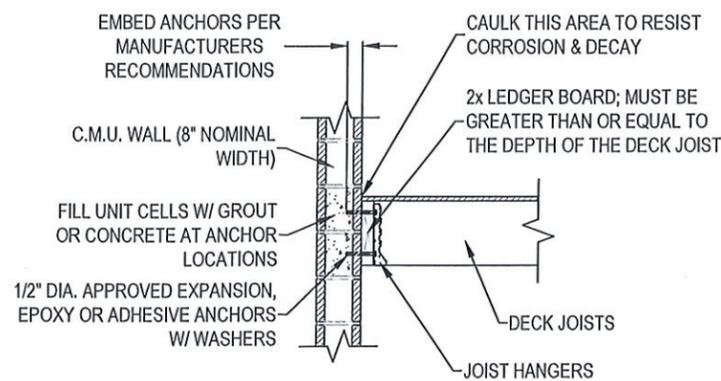
POST TO BEAM DETAIL



DIAGONAL BRACE DETAIL



LEDGER BOARD ATTACHMENT DETAIL - CONCRETE OR SOLID MASONRY WALL



LEDGER BOARD ATTACHMENT DETAIL - HOLLOW MASONRY WALL



LOCATION
GDI - BOSTON
250 CAPE HIGHWAY, UNIT 8
EAST TAUNTON, MA 02718
508-822-1966

ELMER DAVIS & ELEANOR DAVIS
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OSTERVILLE, MA 02655
JOB # C0472

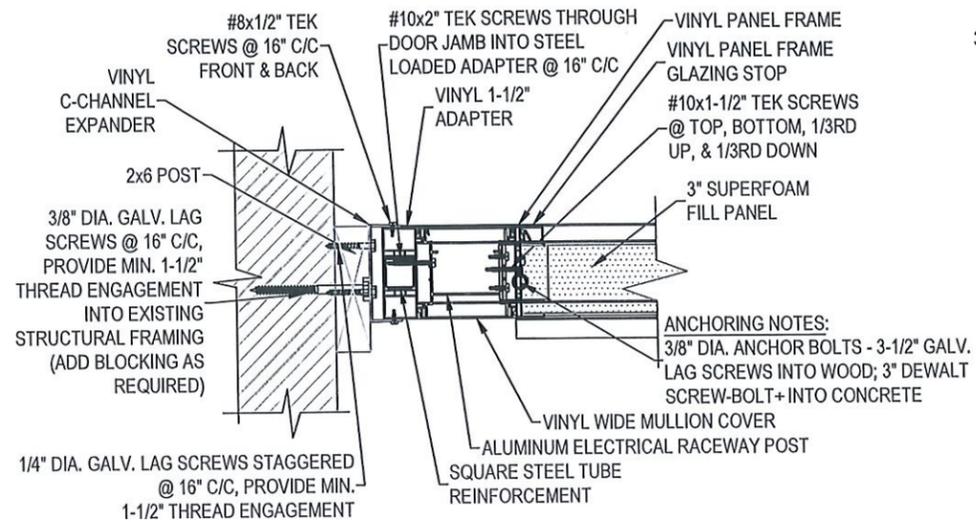


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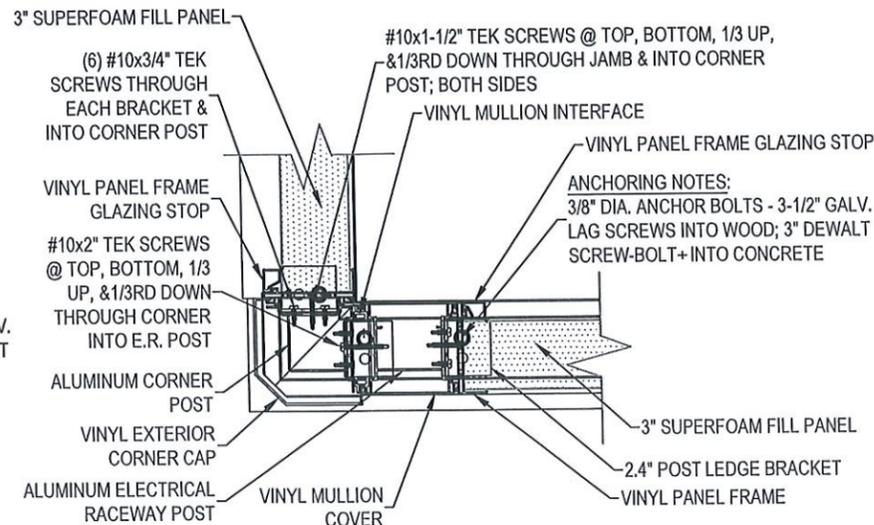
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SHEET	7 OF 10

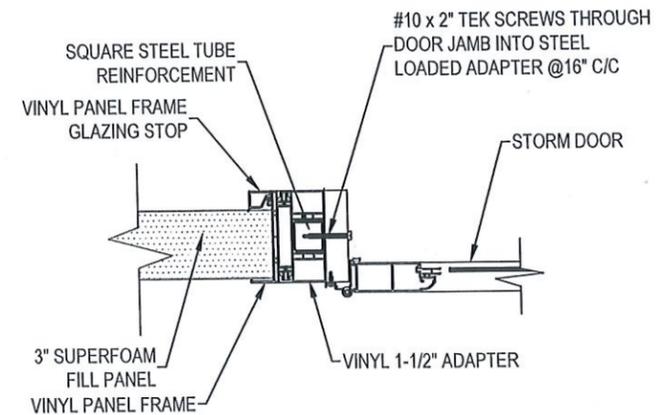
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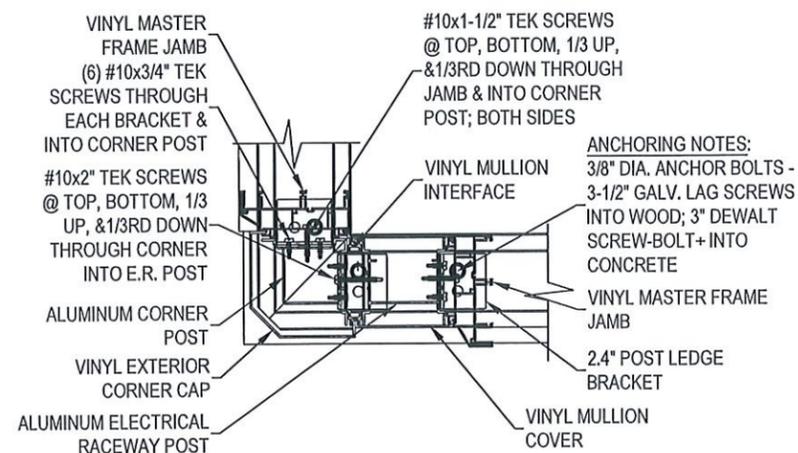
PLAN VIEW OF MASTER FRAME JAMB & C-CHANNEL EXPANDER & E.R. POST & 2x6 POST CONNECTION @ EXISTING WALL



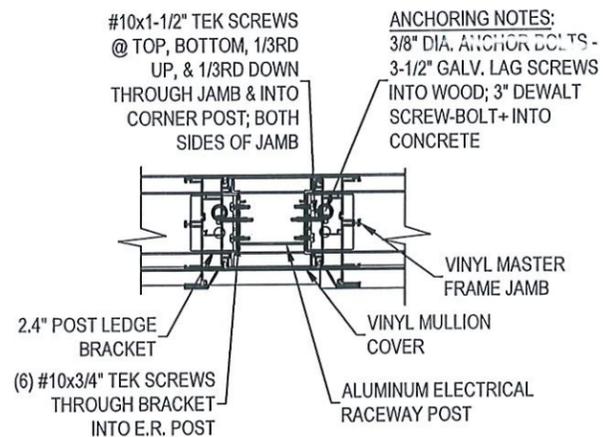
PLAN VIEW OF E.R. POST & FOAM FILL CONNECTION @ CORNER POST



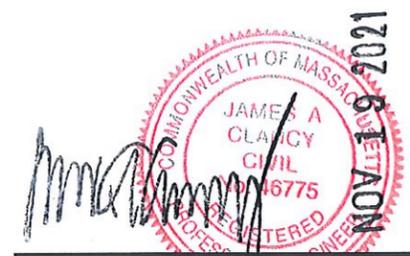
PLAN VIEW OF STORM DOOR CONNECTION @ FOAM FILL PANEL



PLAN VIEW OF E.R. POST & MASTER FRAME JAMB CONNECTION @ CORNER POST



PLAN VIEW OF MASTER FRAME JAMB CONNECTION @ E.R. POST



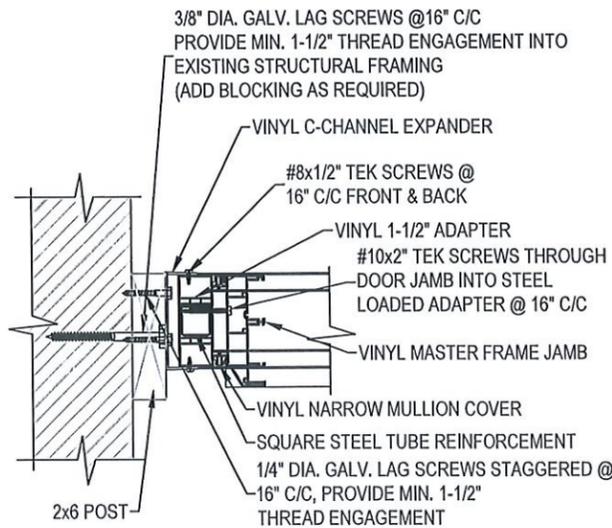
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SCALE 1 1/2" = 1'-0"
SHEET 8 OF 10

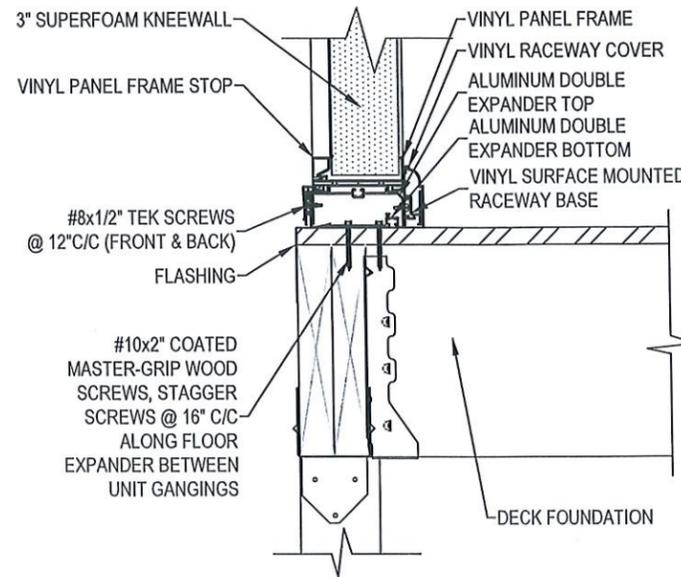
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JOB #: 38472

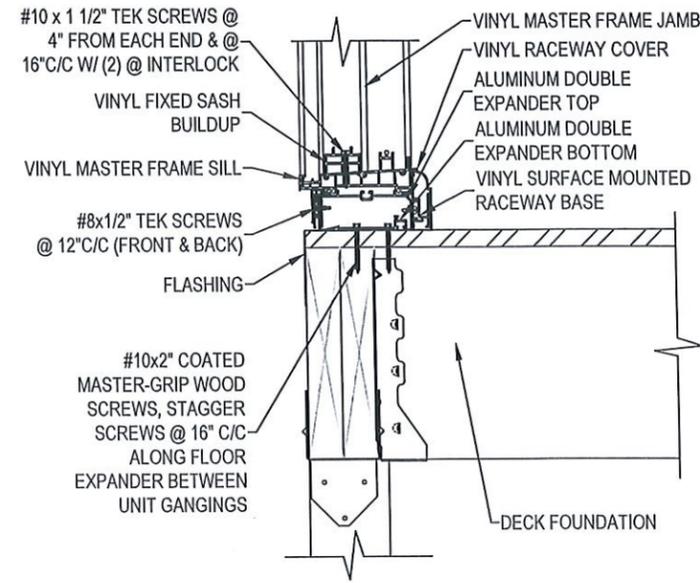
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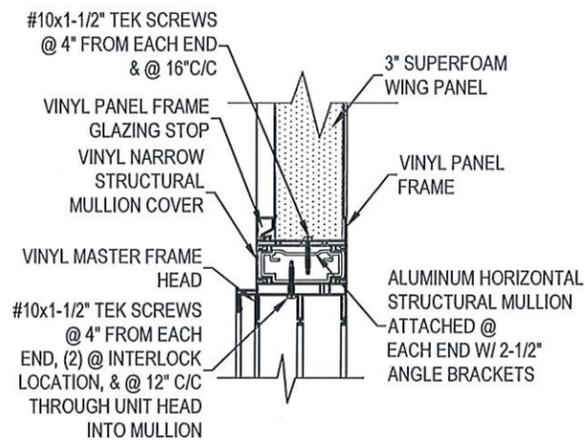
PLAN VIEW OF MASTER FRAME JAMB & C-CHANNEL EXPANDER & 2x6 POST CONNECTION @ EXISTING WALL



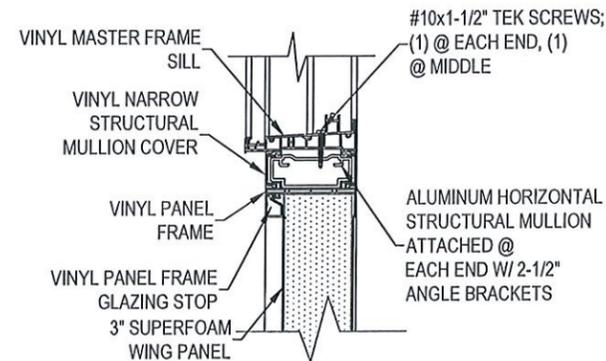
SECTION THROUGH FOAM KNEE WALL & DOUBLE EXPANDER CONNECTION @ DECK FOUNDATION



SECTION THROUGH MASTER FRAME & DOUBLE EXPANDER CONNECTION @ DECK FOUNDATION



SECTION THROUGH MASTER FRAME HEAD CONNECTION @ FOAM WING PANEL



SECTION THROUGH MASTER FRAME SILL CONNECTION @ FOAM KNEEWALL



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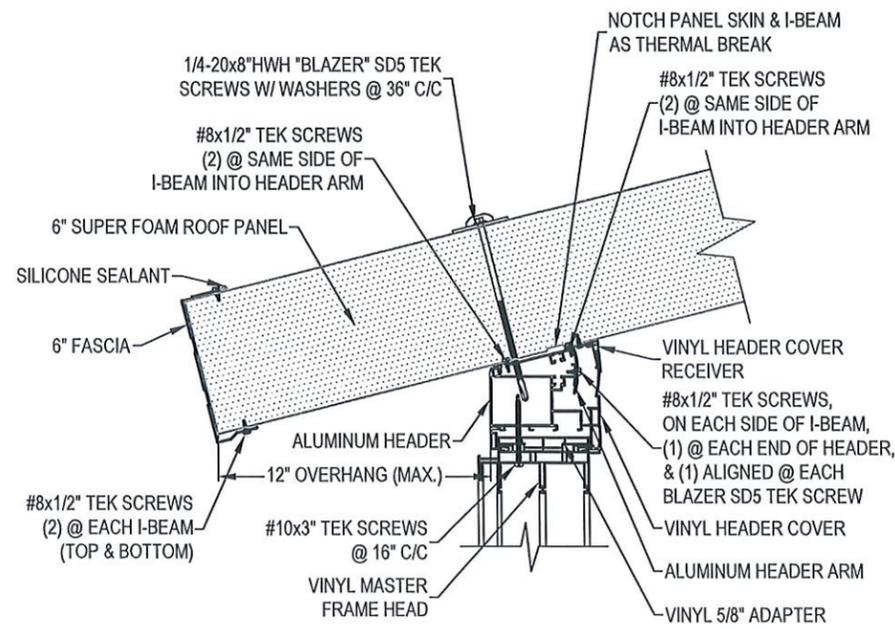
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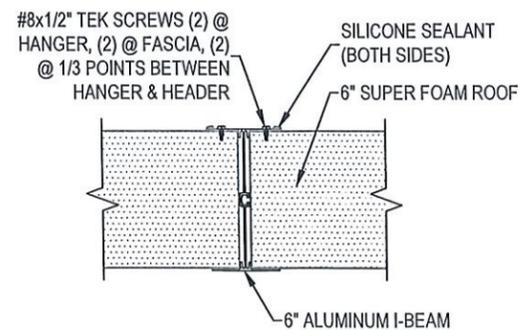
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SHEET	9 OF 10

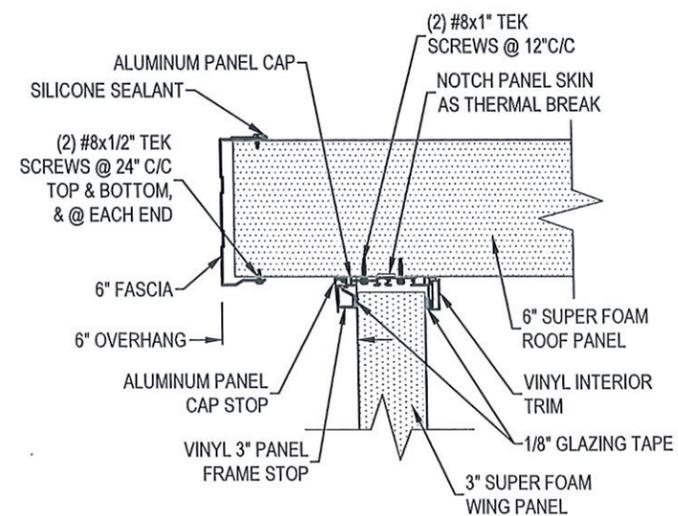
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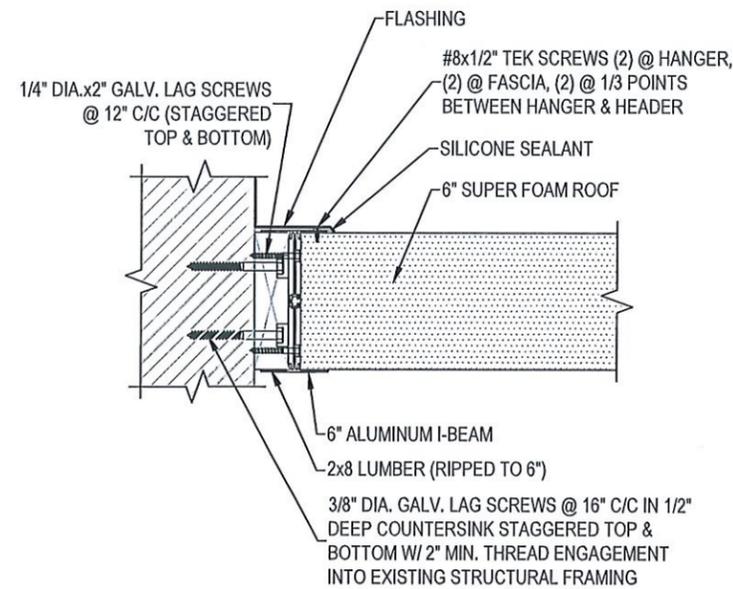
SECTION THROUGH MASTER FRAME HEADER CONNECTION @ 6" SUPER FOAM ROOF



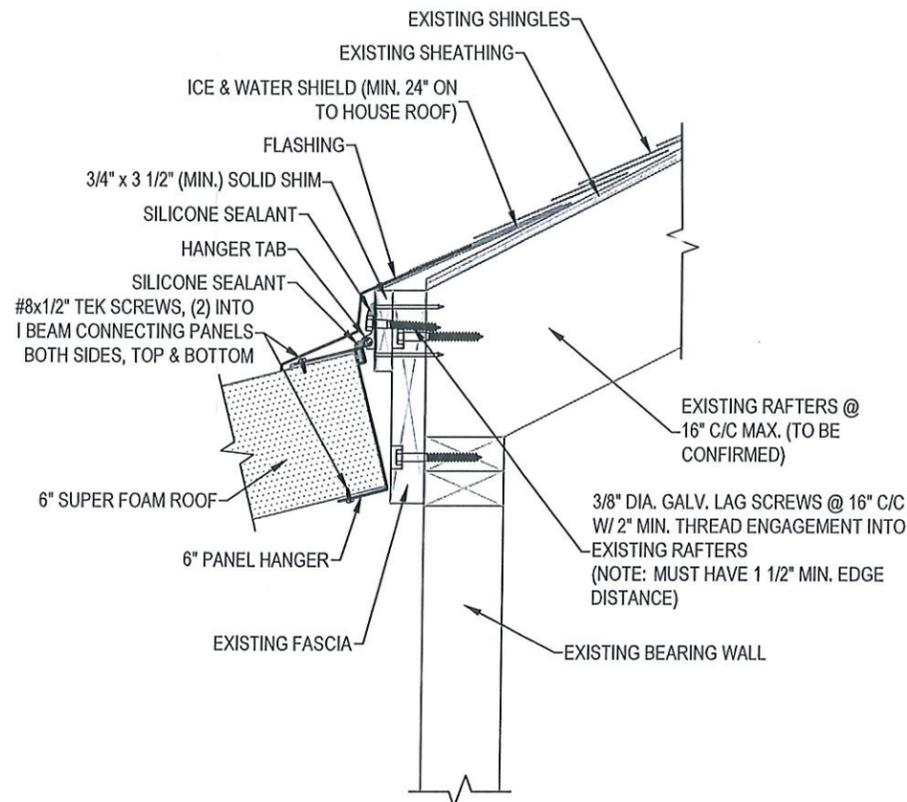
SECTION THROUGH 6" ROOF CONNECTION @ I-BEAM



SECTION THROUGH 6" SUPER FOAM ROOF PANEL CONNECTION @ 3" SUPER FOAM WING



6" ROOF PANEL & I BEAM CONNECTION @ EXISTING WALL



SECTION THROUGH 6" SUPER FOAM ROOF & PANEL HANGER ASSEMBLY CONNECTION @ EXISTING FASCIA

NOV 19 2021
 REGISTERED PROFESSIONAL ENGINEER
 JAMES A. CLANCY
 CIVIL
 MA. LIC. #46775

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LOCATION
 GDI - BOSTON
 250 CAPE HIGHWAY, UNIT 8
 EAST TAUNTON, MA 02718
 508-822-1966

ELMER DAVIS & ELEANOR DAVIS
 25.8 TOWER HILL ROAD
 OSTERVILLE, MA 02655
 JCB # 38472

DATE 11/17/21
 DRAWN PIH
 SCALE 1 1/2" = 1'-0"
 SHEET 10 OF 10

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Massachusetts Cultural Resource Information System

Scanned Record Cover Page

Inventory No:	BRN.2054
Historic Name:	West, Capt. Nathan E. House
Common Name:	Scudder, Erastus - Coffin, Edward and Oliver House
Address:	258 Tower Hill Rd
City/Town:	Barnstable
Village/Neighborhood:	Osterville;
Local No:	142(43); OVA-4J-56;
Year Constructed:	1845
Architectural Style(s):	Greek Revival;
Use(s):	Single Family Dwelling House;
Significance:	Architecture;
Area(s):	
Designation(s):	
Building Materials:	Roof: Asphalt Shingle; Wall: Asbestos Shingle; Wood;
Demolished	No



The Massachusetts Historical Commission (MHC) has converted this paper record to digital format as part of ongoing projects to scan records of the Inventory of Historic Assets of the Commonwealth and National Register of Historic Places nominations for Massachusetts. Efforts are ongoing and not all inventory or National Register records related to this resource may be available in digital format at this time.

The MACRIS database and scanned files are highly dynamic; new information is added daily and both database records and related scanned files may be updated as new information is incorporated into MHC files. Users should note that there may be a considerable lag time between the receipt of new or updated records by MHC and the appearance of related information in MACRIS. Users should also note that not all source materials for the MACRIS database are made available as scanned images. Users may consult the records, files and maps available in MHC's public research area at its offices at the State Archives Building, 220 Morrissey Boulevard, Boston, open M-F, 9-5.

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Commonwealth of Massachusetts
Massachusetts Historical Commission
220 Morrissey Boulevard, Boston, Massachusetts 02125
www.sec.state.ma.us/mhc

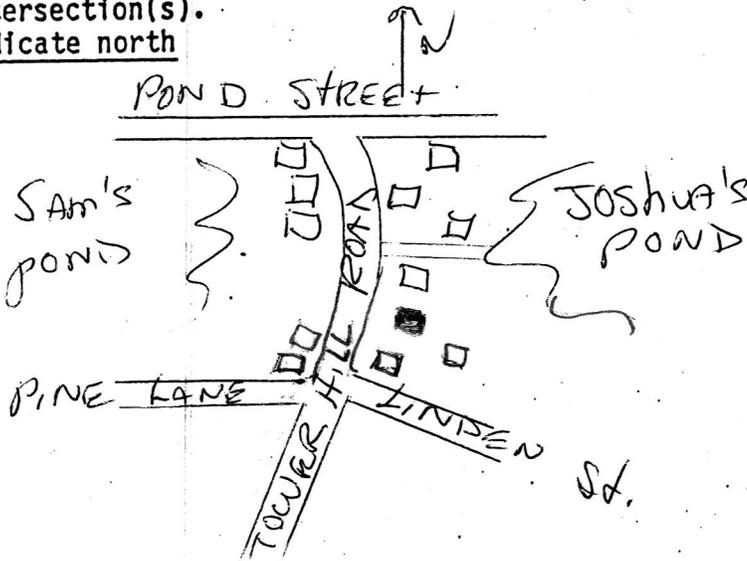
This file was accessed on: Thursday, March 10, 2022 at 4:13 PM

FORM B - BUILDING

MASSACHUSETTS HISTORICAL COMMISSION
80 BOYLSTON STREET
BOSTON, MA 02116



Sketch Map: Draw map showing property's location in relation to nearest cross streets and/or geographical features. Indicate all buildings between inventoried property and nearest intersection(s). Indicate north



RECEIVED

JUL 14 1999

UTM REFERENCE _____
USGS QUADRANGLE MASS. HIST. COMM
SCALE _____

AREA BRN 2054 FORM NO. _____

142 (43)

OVA 2054 56

45

Town Barnstable (Osterville)

Address 258 Tower Hill Road

Historic Name Captain Nathan E. West

Use: Present residence

Original residence

DESCRIPTION

Date 1845

Source Registry of Deeds

Style Greek Revival

Architect unknown

Exterior Wall Fabric novelty siding

Outbuildings small shed

Major Alterations (with dates) date?

rear addition

Condition good

Moved no Date _____

Acreage .47

Setting residential area on lovely road between two ponds

Recorded by Barbara Crosby

Organization Barnstable Historical Com

Date 1989 revised 1998

NATIONAL REGISTER CRITERIA STATEMENT (if applicable)

See National Register Criteria Statement form attached

ARCHITECTURAL SIGNIFICANCE Describe important architectural features and evaluate in terms of other buildings within the community.

The Captain Nathen E. West House is a typical local example of a one and one half story Greek Revival style cottage with side-entry gable-end facade. Most of its original features have survived the recent application of novelty siding. These include a raking cornice with returns, and the entry surround of pilasters and lintel shelf. Fascias, emulating a frieze, remain on the side elevations, but corner boards, of they originally existed, have been covered. Windows contain 6/1 replacement sash.

HISTORICAL SIGNIFICANCE Explain the role owners played in local or state history and how the building relates to the development of the community.

See continuation sheet attached

BIBLIOGRAPHY and/or REFERENCES

Atlas - 1858, 1880 Registry of Deeds, Registry of Probate
Osterville A Walk Through the Past 1979 Chesbro/Crosby
Osterville Vol. II 1989 Paul Chesbro
Osterville Vol. I 1988 Paul Chesbro
Barnstable, Three Centuries of a Cape Cod Town, 1939 D. Trayser

BEN 2054

INVENTORY FORM CONTINUATION SHEET

MASSACHUSETTS HISTORICAL COMMISSION
Office of the Secretary, Boston

Community: Osterville	Form No: 56
Property Name: Capt. Nathan E. West	

Indicate each item on inventory form which is being continued below.

Historical Significance

In 1845 Captain Nathan E. West 1822-1913 married Sarah P. Lewis 1826-1908. He purchased this land from Samuel Crosby 1775-1859 in December 1855 but the deed was not recorded until March 1858. Captain West was born on the Indian Reservation in Mashpee and went to sea as cook at an early age. For a period lasting over 50 years until his retirement in 1889, he commanded some of the largest and finest ships in the coastal trade between New York and Boston. He never lost a ship and the record of many of his trips has never been beaten. He was master of the schooners "Lester B. Sherman," "Edwin A. Stevens," "Frances Edwards" and "A. D. Scull". His last command was the schooner "William L. Burroughs" built by Eckford Webb of Greenpoint, NY for Thomas Dunham, of Nantucket in 1855. It was the second three masted schooner built in America and was considered one of the fastest in the coastal service. After his retirement in 1889 he ran a passenger catboat for summer visitors and delivered new Crosby built boats to their owners as far away as New York City. He held the Blount Cane as the oldest village inhabitant from 1908 till 1913. In 1878 he lost this property in a bank foreclosure to Erastus Scudder 1813-1884, storekeeper, postmaster and local entrepreneur, who rented it out. He willed it to his grandson, Francis E. West, who sold it in 1890 to Edward E. Waters of New York City. Mr. Waters, in 1882, built an albumen* factory nearby on Pond St. on Joshua's Pond employing many local people including coastal captains who worked there in between voyages until he went bankrupt in 1892. Brothers Edwin Coffin 1867-1933 and Oliver Coffin 1862-1947 used the house as rental property for a number of years until 1929 when they sold it to Florence (Johnson) Whiteley, wife of Elmer 1905-1979 who worked for J. M Leonard & Son as a mechanic and school bus driver. The property remains in the ownership of the Whiteley family.

*Albumen - "water soluble proteins found in animal and vegetable juices and tissues"

BEV 2059

Massachusetts Historical Commission
80 Boylston Street
Boston, Massachusetts 02116

Community Property Address
Osterville 258 Tower Hill Rd.

Area(s)	Form No.
OVA	56

45

National Register of Historic Places Criteria Statement Form



Check all that apply:

- Individually eligible Eligible only in a historic district
- Contributing to a potential historic district Potential historic district

Criteria: A B C D

Criteria Considerations: A B C D E F G

Statement of Significance by Barbara Crosby
The criteria that are checked in the above sections must be justified here.

Capt. Nathan E. West was held in the highest regard as one of the finest captains of the coastal trade and by the people of the village as a splendid person. He built and then lived in this house for 31 years. Therefore, the house qualifies for the National Register under criteria B.

← Parcel: 142-043

Location: 258 TOWER HILL ROAD, Osterville

Owner: DAVIS, ELEANOR JANE TR



Parcel
142-043

Location
258 TOWER HILL ROAD

Village
Osterville

Town sewer account
No

CWMP Sewer Expansion (subject to change with final engineering design)
Phase 2 (11-20 years)

Developer lot:

Road type
Town

Fire district
C-O-MM

Property Record Card

[Property Record Card PDF File](#)

Secondary road

Road index
1729

Interactive map



Asbuilt septic scan
[142043_1](#)

▼_Owner: DAVIS, ELEANOR JANE TR

Owner
DAVIS, ELEANOR JANE TR

Street1
5625 REBECCA CT

City County
PANAMA CITY

Co-Owner
ELEANOR JANE DAVIS REV TRUST

Street2

State Zip Country
FL 32404

Book page
14529/0064

Street3

▼_ Land

Acres 0.47 Use Single Fam M-01 Zoning RC Neighborhood 0109

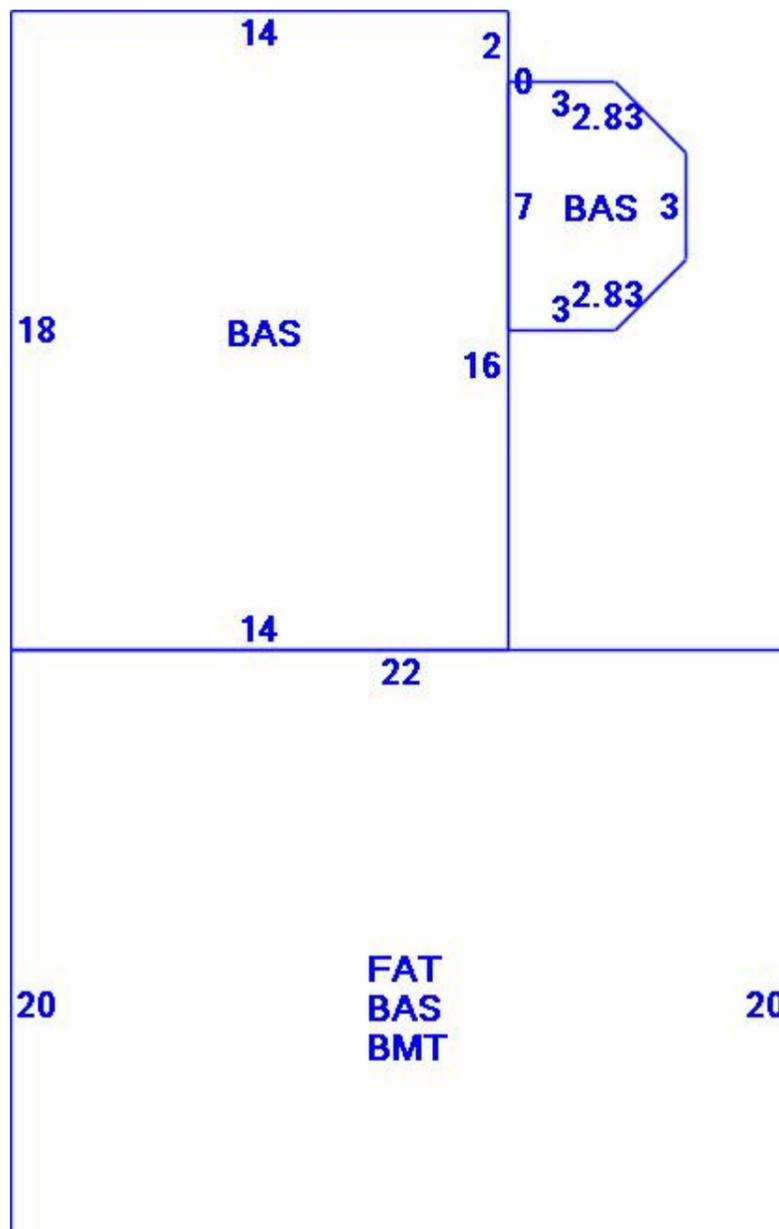
Topography Level Street factor Paved Town Zone of Contribution WP (Wellhead Protection Overlay District)

Utilities Septic, Gas, Public Water Location factor State Zone of Contribution IN

▼_ Construction

▼_ Building 1 of 1

Year built 1856	Roof structure Gable/Hip	Heat type Hot Water
Living area 1042	Roof cover Asph/F Gls/Cmp	Heat fuel Gas
Gross area 2043	Exterior wall Wood Shingle	AC type None
Style Conventional	Interior wall Plastered	Bedrooms 3 Bedrooms
Model Residential	Interior floor Hardwood	Bath rooms 1 Full-0 Half
Grade Average Plus	Foundation	Total rooms 6 Rooms
Stories 1.5		



▼ Permit History

Issue Date	Purpose	Permit Number	Amount	InspectionDate	Comments
07/16/2007	Out Building	200704328	\$0	06/30/2008	SHED 10X12

▼ Sale History

Line	Sale Date	Owner	Book/Page	Sale Price
1	12/04/2001	DAVIS, ELEANOR JANE TR	14529/0064	\$0
2	09/15/1996	DAVIS, ELEANOR J	10373/0197	\$1
3	09/15/1995	WHITELEY, NEIL H ET ALS	9826/0013	\$1
4	12/15/1994	WHITELEY, NEIL H	9490/0256	\$1
5	01/15/1990	WHITELEY, FLORENCE M	7018/0249	\$1
6	12/15/1989	WHITELEY, FLORENCE M	7006/0101	\$1
7	03/21/1929	WHITELEY, FLORENCE M	0464/0098	\$0

▼ Assessment History

Save #	Year	Building Value	XF Value	OB Value	Land Value	Total Parcel Value
1	2022	\$161,600	\$18,200	\$4,400	\$220,900	\$405,100
2	2021	\$131,000	\$18,200	\$4,400	\$241,900	\$395,500
3	2020	\$117,800	\$15,300	\$3,800	\$241,900	\$378,800
4	2019	\$102,600	\$15,300	\$4,100	\$252,400	\$374,400
5	2018	\$77,900	\$15,300	\$4,200	\$254,600	\$352,000
6	2017	\$74,300	\$13,000	\$1,500	\$254,600	\$343,400
7	2016	\$74,300	\$13,000	\$1,500	\$257,000	\$345,800
8	2015	\$86,300	\$13,600	\$2,300	\$251,400	\$353,600
9	2014	\$86,300	\$13,600	\$0	\$251,400	\$351,300
10	2013	\$86,300	\$13,600	\$0	\$251,400	\$351,300
11	2012	\$85,300	\$13,400	\$0	\$251,400	\$350,100

Save #	Year	Building Value	XF Value	OB Value	Land Value	Total Parcel Value
12	2011	\$116,200	\$3,300	\$0	\$251,400	\$370,900
13	2010	\$116,200	\$3,300	\$0	\$256,900	\$376,400
14	2009	\$141,800	\$2,400	\$0	\$256,100	\$400,300
15	2008	\$127,400	\$2,400	\$0	\$289,700	\$419,500
17	2007	\$127,100	\$2,400	\$0	\$289,700	\$419,200
18	2006	\$113,400	\$2,400	\$0	\$272,700	\$388,500
19	2005	\$101,500	\$2,300	\$0	\$251,100	\$354,900
20	2004	\$91,700	\$2,300	\$0	\$198,000	\$292,000
21	2003	\$72,400	\$2,300	\$0	\$129,100	\$203,800
22	2002	\$72,400	\$2,300	\$0	\$129,100	\$203,800
23	2001	\$72,400	\$2,400	\$0	\$129,100	\$203,900
24	2000	\$51,700	\$2,100	\$0	\$55,300	\$109,100
25	1999	\$48,600	\$2,000	\$0	\$55,300	\$105,900
26	1998	\$51,600	\$2,000	\$0	\$55,300	\$108,900
27	1997	\$45,500	\$0	\$0	\$48,000	\$93,500
28	1996	\$45,500	\$0	\$0	\$48,000	\$93,500
29	1995	\$45,500	\$0	\$0	\$48,000	\$93,500
30	1994	\$50,000	\$0	\$0	\$43,200	\$93,200
31	1993	\$50,000	\$0	\$0	\$43,200	\$93,200
32	1992	\$56,800	\$0	\$0	\$48,000	\$104,800
33	1991	\$66,000	\$0	\$0	\$95,900	\$161,900
34	1990	\$66,000	\$0	\$0	\$95,900	\$161,900
35	1989	\$66,000	\$0	\$0	\$95,900	\$161,900
36	1988	\$57,900	\$0	\$0	\$54,500	\$112,400
37	1987	\$57,900	\$0	\$0	\$54,500	\$112,400
38	1986	\$57,900	\$0	\$0	\$54,500	\$112,400

Photos







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Property ID: 118090
COOK. CORNELIA L
747 NORTH MANASOTA KEY RD
ENGLEWOOD. FL 34223

Property ID: 118091
BARNSTABLE LAND TRUST INC
1540 MAIN STREET
WEST BARNSTABLE. MA 02668

Property ID: 118092
ELICH. JOSEPH STEVEN & KATHERINE
153 WOBURN STREET
MEDFORD. MA 02155

Property ID: 118093
DAVIS. MAC
832 MAIN STREET
OSTERVILLE. MA 02655

Property ID: 118094
YUNKER. DONALD E & SCHROEDER. NANCY
263 TOWER HILL RD
OSTERVILLE. MA 02655

Property ID: 118095
FRIEDERS. JANE L & BRADBURY. REBECCA C
12706 GLENDON CT
HUMBLE. TX 77346-1584

Property ID: 118096
POWERS. JANE L TR
TOWER HILL ROAD REALTY TRUST
12706 GLENDON COURT
HUMBLE. TX 77346

Property ID: 142011
ORTICERIO. ERNEST & ANN MARIE
11 SILVER DRIVE
NORTH EASTON. MA 02356

Property ID: 142012
GALLAGHER. JAMES E & MARY T
214 TOWER HILL ROAD
OSTERVILLE. MA 02655

Property ID: 142024
ACETO. GREGORY J & LAUREN M
14 DEER PATH
NATICK. MA 01760

Property ID: 142036
SAUNDERS. JOHN & PAULA B
129 HINCKLEY CIRCLE
OSTERVILLE. MA 02655

Property ID: 142039
BARNSTABLE. TOWN OF (BCH)
367 MAIN STREET
HYANNIS. MA 02601

Property ID: 142040
FOLEY. MICHAEL C & KIMBERLY M
272 TOWER HILL ROAD
OSTERVILLE. MA 02655

Property ID: 142041
MARNEY. ARTHUR K & CATHERINE H
268 TOWER HILL ROAD
OSTERVILLE. MA 02655

Property ID: 142043
DAVIS. ELEANOR JANE TR
ELEANOR JANE DAVIS REV TRUST
5625 REBECCA CT
PANAMA CITY. FL 32404

Property ID: 142044001
SULLIVAN. MAUREEN E TR
SULLIVAN REALTY TRUST
680 N LAKE SHORE DR
UNIT 901
CHICAGO, IL 60611

Property ID: 142044002
GALLAGHER. ANN MARIE
PO BOX 528
OSTERVILLE. MA 02655

Property ID: 142045
HAYES. JOHN & CARIOFILES. GEORGE
138 HINCKLEY CIRCLE
OSTERVILLE. MA 02655

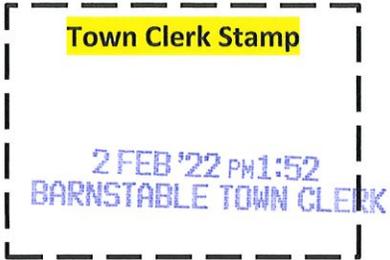
Property ID: 142046
FITZSIMONS. DAVID & BROPHY. PAULA
242 TOWER HILL RD
OSTERVILLE. MA 02655

Property ID: 142047
POTTEIGER. FAITH PRIEST TR
FAITH E PRIEST REV LIVING TRUST
87 OLD MILFORD ROAD
BROOKLINE. NH 03033

Property ID: 142161
POTTEIGER. JASON PRIEST ET AL
87 OLD MILFORD ROAD
BROOKLINE. NH 03033



TOWN OF BARNSTABLE Planning & Development Department Barnstable
Historical Commission
www.town.barnstable.ma.us/historicalcommission



NOTICE OF INTENT TO DEMOLISH A SIGNIFICANT BUILDING

Date of Application 2/2/2022 Full Demotion Partial Demolition

Building Address: 65 Hawes Ave
Number Street

Hyannis, MA 02601 Assessor's Map # 323 Assessor's Parcel # 007
Village ZIP

Property Owner: DELMIC, MIODRAG & DAJANA 203-606-5668
Name Phone#

Property Owner Mailing Address (if different than building address) 8 KROL FARM ROAD
ROCKY HILL, CT. 06067

Property Owner e-mail address: dajana2882@yahoo.com

Contractor/Agent: Mark Bogosian

Contractor/Agent Mailing Address: 367 Main St Falmouth, MA 02540

Contractor/Agent Contact Name and Phone #: James Bustamante 781-718-8580
Name Phone #

Contractor/Agent Contact e-mail address: james@longfellowdb.com

Demolition Proposed - please itemize all changes:

Demo existing 4 bedroom house and detached garage including foundation.

Type of New Construction Proposed: Build new 4 bedroom house on new foundation to include white cedar shingle siding, asphalt roof, composite trim, and anderson 400 series windows and sliders.

Provide information below to assist the Commission in making the required determination regarding the status of the Building in accordance with Article 1, § 112

Year built: 1920 Additions Year Built: N/A

Is the Building listed on the National Register of Historic Places or is the building located in a National Register District?
 No Yes

Property Owner/Agent Signature

65 Hawes Ave Hyannis, MA





LONGFELLOW
DESIGN ▪ BUILD

Memo

To: Barnstable Historical Commission

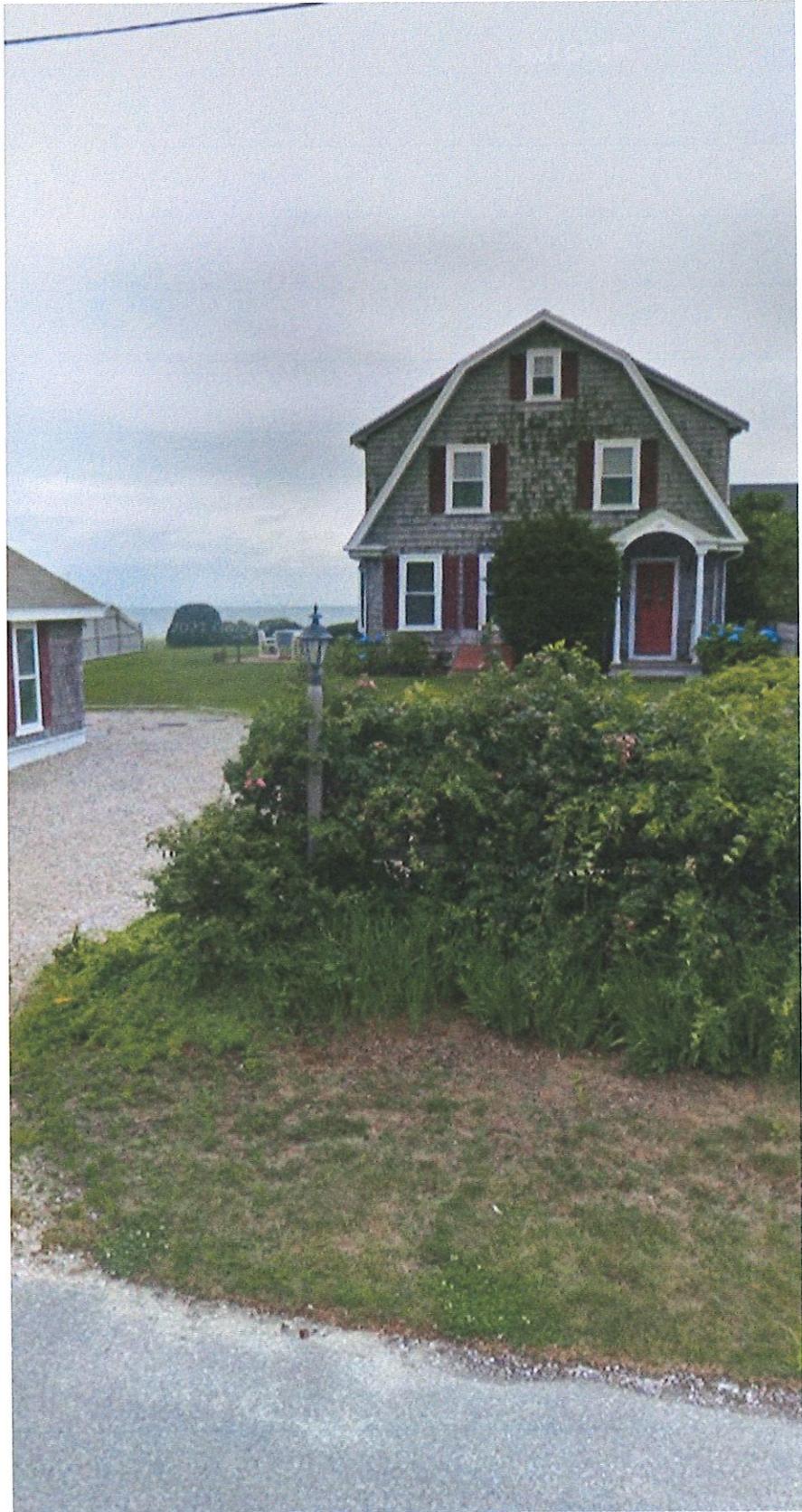
Subject: 65 Hawes Ave, Hyannis

From: Stephen Egan, *Architect AIA, MA Reg #952256*

CC: Longfellow Design Build

Greetings all, Longfellow Design Build (LDB) had a licensed design professional in the Commonwealth of Massachusetts perform an architectural survey of 65 Hawes Ave in Hyannis to document any and all historically relevant elements on the site. Stephen Egan, AIA, performed the site inspection on Tuesday January 25th the findings are summarized below.

- Architecturally the exterior of this building is not historically relevant to the style and custom of the surrounding area.
 - The windows and doors are not original and appear to be recent replacements with vinyl finish.
 - There is a prefabricated metal bulkhead to the front of the house on a poured in place concrete foundation, these non-historic details should not be on a front façade.
 - The off-centered entry and gambrel roof are not consistent with the historic homes in the area which feature centered entry doors and gable roofs with shed and Nantucket dormers.
- It is also my professional opinion that the proposed structure is very historically cognizant and will add more to the historic neighborhood than the existing ranch-style home.
 - The roof line in the front and rear come down to the first-floor top plate in the classic Cape Cod Style, both Nantucket and shed dormers add character and functionality to the second floor.
 - The area under the home (due to code required elevation) is screened from view, consistent with historic waterfront properties specific to New England and Cape Cod.



Longfellow Design Build LLC

367 Main Street
Falmouth, MA 02540
Tom Galligan, PE
tomg@longfellowdb.com

January 28, 2022

Town of Barnstable
200 Main Street
Barnstable, MA 02601

RE: 65 Hawes Avenue Structural Survey

As requested, Longfellow Design Build LLC (LFDB) has performed a structural assessment of the single-family home located at 65 Hawes Avenue, Hyannis, Massachusetts and has provided a summary of our findings in this letter report.

EXECUTIVE SUMMARY

LFDB was requested to conduct a site visit to inspect the single-family home to assess overall structural stability and building code compliance, to document structural deficiencies, and to opine as to the possibility of preserving the building.

LFDB's scope of work included a site visit, visual documentation of existing conditions, and letter report presenting its findings. Photographs were taken and provided in Appendix A. LFDB did not perform an extensive existing condition survey or any testing in preparation for this report. LFDB's assessment only included open and accessible areas.

DESCRIPTION

The single-family home is a single story dwelling built circa 1930's. It is approximately 2000 square foot with four bedrooms and three bathrooms. The lot is approximately .09 acres. The house affronts Hawes Avenue (north elevation).

The structure's type of construction is Type V, conventional wood construction. The house is built with actual width 2 inch plus rafters and joists and 2x wood stud walls. Wood bearing walls transfer loads to wood carrying beams and sill plates. Foundation walls are concrete masonry unit block.

OBSERVATIONS

FOUNDATION

- CMU foundation walls support the structure.

Longfellow Design Build, LLC

- First step from exterior landing to basement stair is more than twelve (12 inches).
- Partial basement and crawl space
- Block Head and bed joints are exposed with grout degradation.

FIRST FLOOR

- The floor framing is 2x wood framing supported by wood carrying beams and exterior walls
- Floor sheathing 1X sheathing (original) plywood sheathing (kitchen addition)
- Floor is spongy and loose in the center of the house.
- Floor is out of plumb, level and square.
- Differential settlement noted throughout the first floor.

ROOF FRAMING

- The roof framing appeared to be in fair condition with minor damage noted in the attic.
- 1X roof planks missing in several areas.
- The roof covering is three-tab asphalt shingles which appeared to be in fair condition.
- Rafters are not securely fastened with hold down strapping.
- Ridge board is 1"

EXTERIOR/INTERIOR WALLS

- The house is covered in cedar shingles.
- The condition of the exterior is in poor condition.
- Wall framing is 2" studs space 27"+/_ on center well above building code allowable limits.
- Proper insulation depths within stud cavity not achievable to meet building/energy code specifications.
- Fascia, soffit and trim boards are in poor condition with evidence of rot.
- Existing electrical system is old and exposed posing life safety issues.
- Exposed wiring noted in attic spaces.
- Exterior windows single pane glass with direct high wind exposure on three sides.
- Wood trim painted with lead based paint.

REQUIRED UPGRADES TO EXISTING STRUCTURE.

In my professional opinion upgrading the existing structure for year-round habitability would be cost prohibitive based upon the following:

Longfellow Design Build, LLC

FOUNDATION

- Existing structure is inadequate and shall require full replacement to adequately sized to support all vertical lateral (wind) loading.
- Structure is within high Velocity zone and not suited for direct wave impact loading.
- Mechanical fastening shall be required to be installed with nearly impossible working distances due to the existing structure.

FLOOR/ROOF FRAMING

- Existing floor/roof framing shall require reinforcement or replacement to satisfy current building code requirements.
- Structure is in high wind zone with no obstructions requiring additional resistance to high wind events.
- Lateral and Uplift reinforcement shall be required and may need additional structural reinforcement of existing framing elements.

WALLS AND WINDOWS

- Existing wall framing too small to meet current energy code requirements. Wall framing shall be required to be modified with additional framing to provide requisite depth for insulation values.
- Living space shall be greatly impacted from wall infringement due to energy envelope.
- Windows shall require replacement for high wind/impact glazing.
- Due to balloon framing, fire stopping shall be required in each stud by throughout the house.

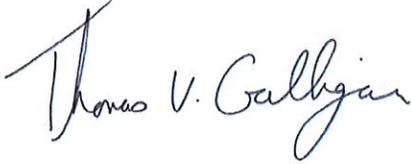
NEW CONSTRUCTION

- Structural elements and components shall be designed to meet current building and design code specifications.
- New structure shall be designed to resist high wind forces due to its proximity and to the water and clear, unobstructed wind path of this hilltop structure.
- Shearwall panels with hold-down mechanical fasteners shall be required.
- Compliance with all life safety regulations including wiring, water, exiting, and thermal protection.
- New construction removes hazardous materials (lead paint) issues.
- Installation of energy efficient mechanical systems beneficial to the homeowner and environment.
- Closed cell insulation to provide maximum energy efficiency.

Longfellow Design Build, LLC

If you have any questions regarding LFDB's findings, please feel free to contact us at your earliest convenience.

Prepared By:

A handwritten signature in black ink that reads "Thomas V. Galligan". The signature is written in a cursive style with a large initial 'T'.

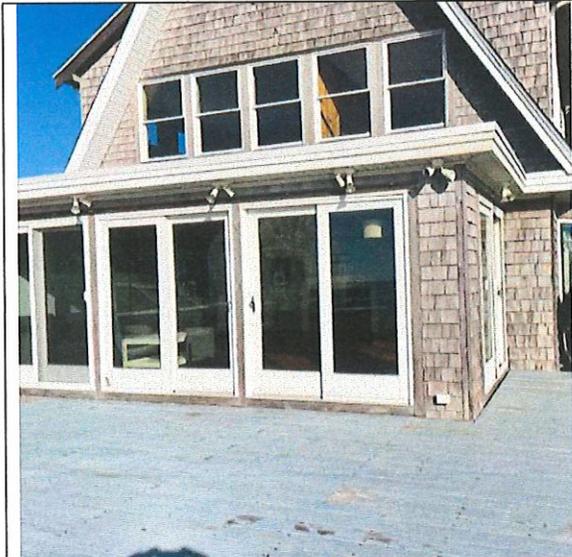
Thomas V. Galligan, PE

Cc: file
Encl: Photo Log

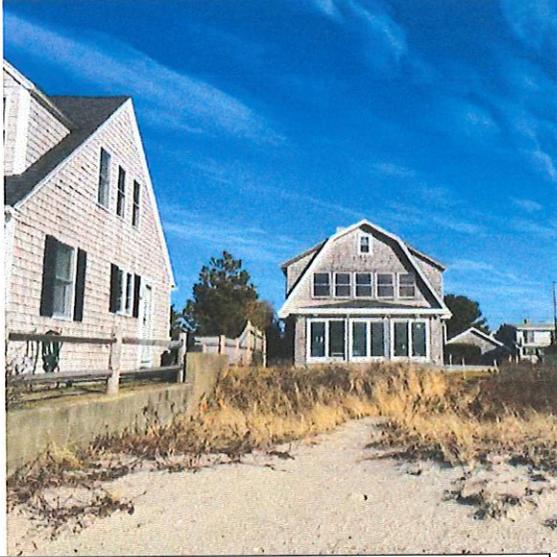
Longfellow Design Build, LLC

Subject: 65 Hawes Avenue
Site Visit Date: 01.26.2022
Information:

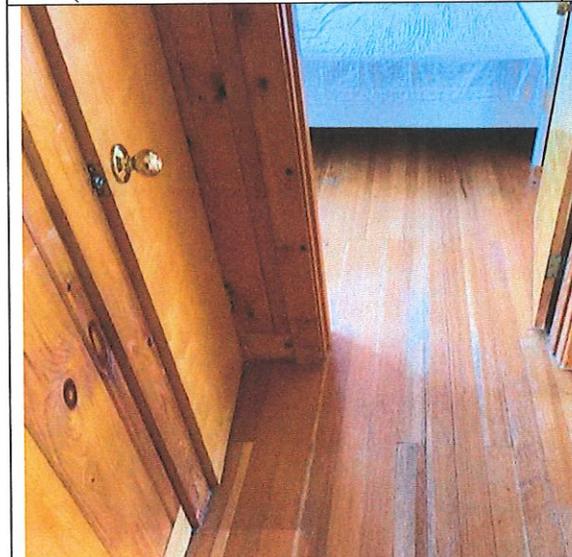
PHOTO LOG



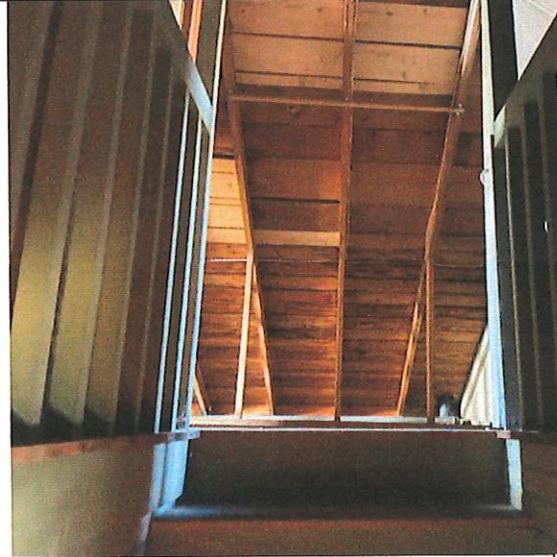
P1: (south elevation)



P2: Velocity Flood Zone



P3: soft flooring (first floor)

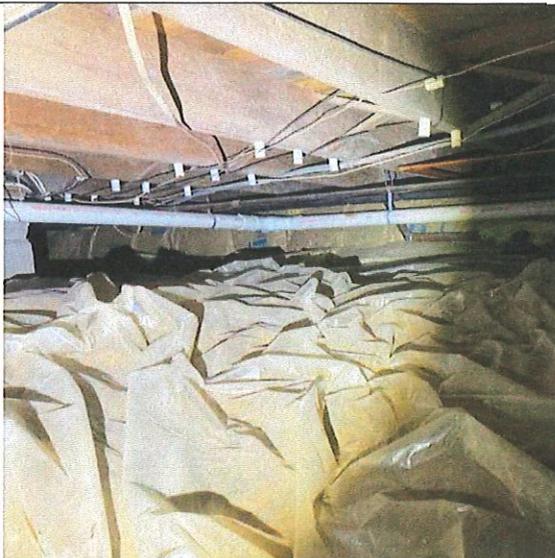


P4: Existing roof Framing 2x6 rafters

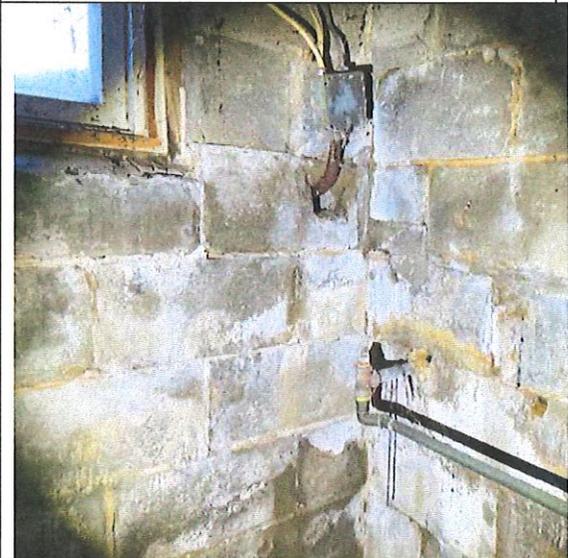
Longfellow Design Build, LLC



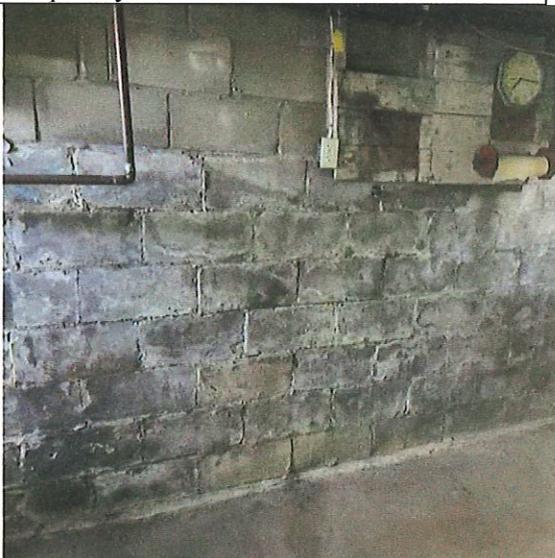
P5: 2x rafter spacing



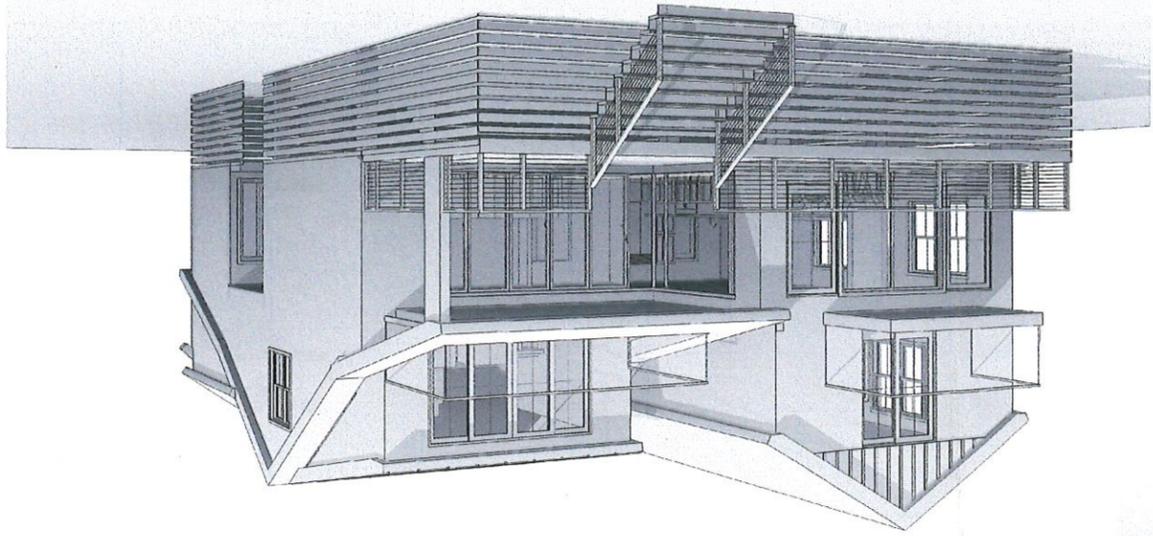
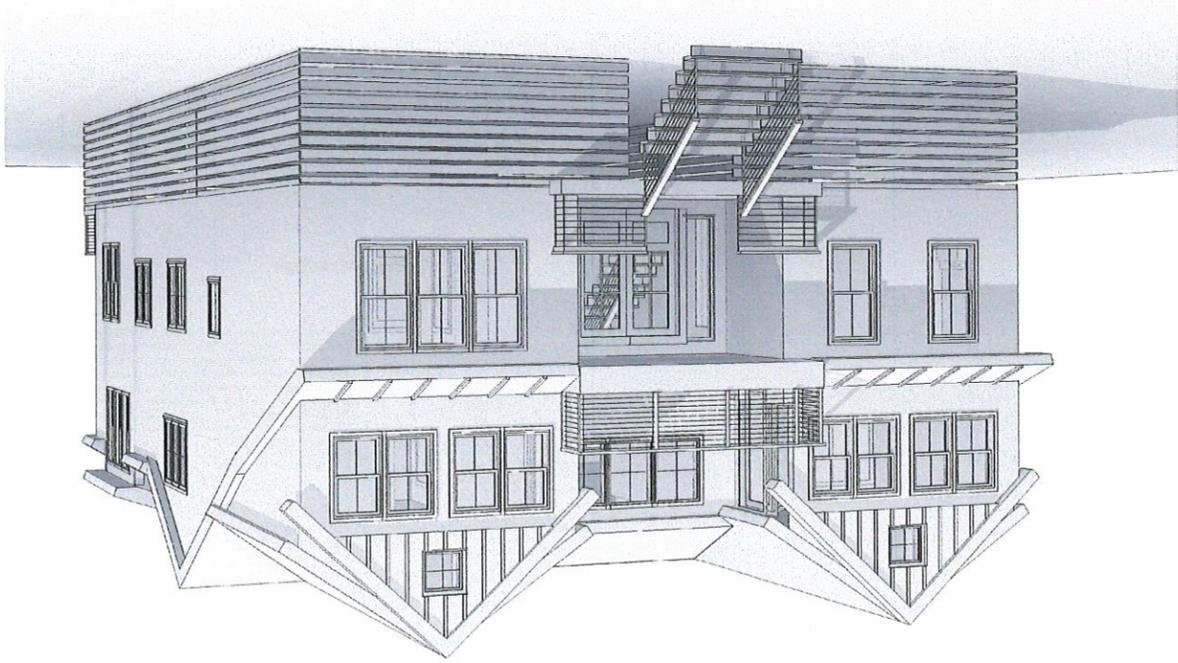
P6: Repaired First floor framing with temporary Posts



P7: Existing block wall



P8: Existing CMU wall, water intrusion



A0.0	COVER
A0.1	ABBREVIATIONS AND SYMBOL LEGEND
A0.2	DEMO
A1.0	FOUNDATION PLAN
A1.1	FIRST FLOOR PLAN
A1.2	SECOND FLOOR PLAN
A1.3	ROOF PLAN
A2.0	EXTERIOR ELEVATIONS
A2.1	EXTERIOR ELEVATIONS
A2.2	EXTERIOR ELEVATION - SOUTH
A3.0	SECTIONS
A4.0	FIRST FLOOR ENLARGED PLANS
A4.1	SECOND FLOOR ENLARGED PLANS
A6.0	DOOR AND WINDOW SCHEDULE
A7.0	AREA PLANS
A9.0	3D VIEWS
A10.0	INTERIOR ELEVATIONS

Drawing List	
Sheet Number	Sheet Name
Current	Revision

CONSULTANT



NOTES

VERIFY ALL DIMENSIONS IN FIELD

PROJECT
DELMIC

65 HAWES AVE, HYANNIS, MA

PHASE
ISSUED FOR
CONSTRUCTION
COVER

PROJECT NUMBER

140

DATE

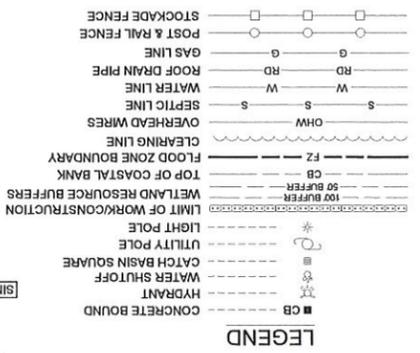
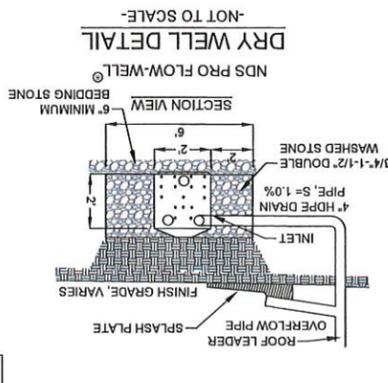
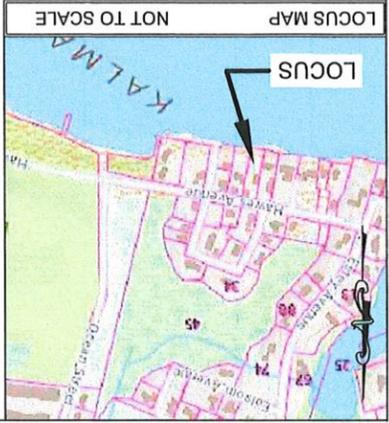
07/29/2021

DRAWN BY:

SLP

Scale

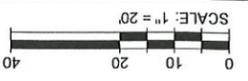
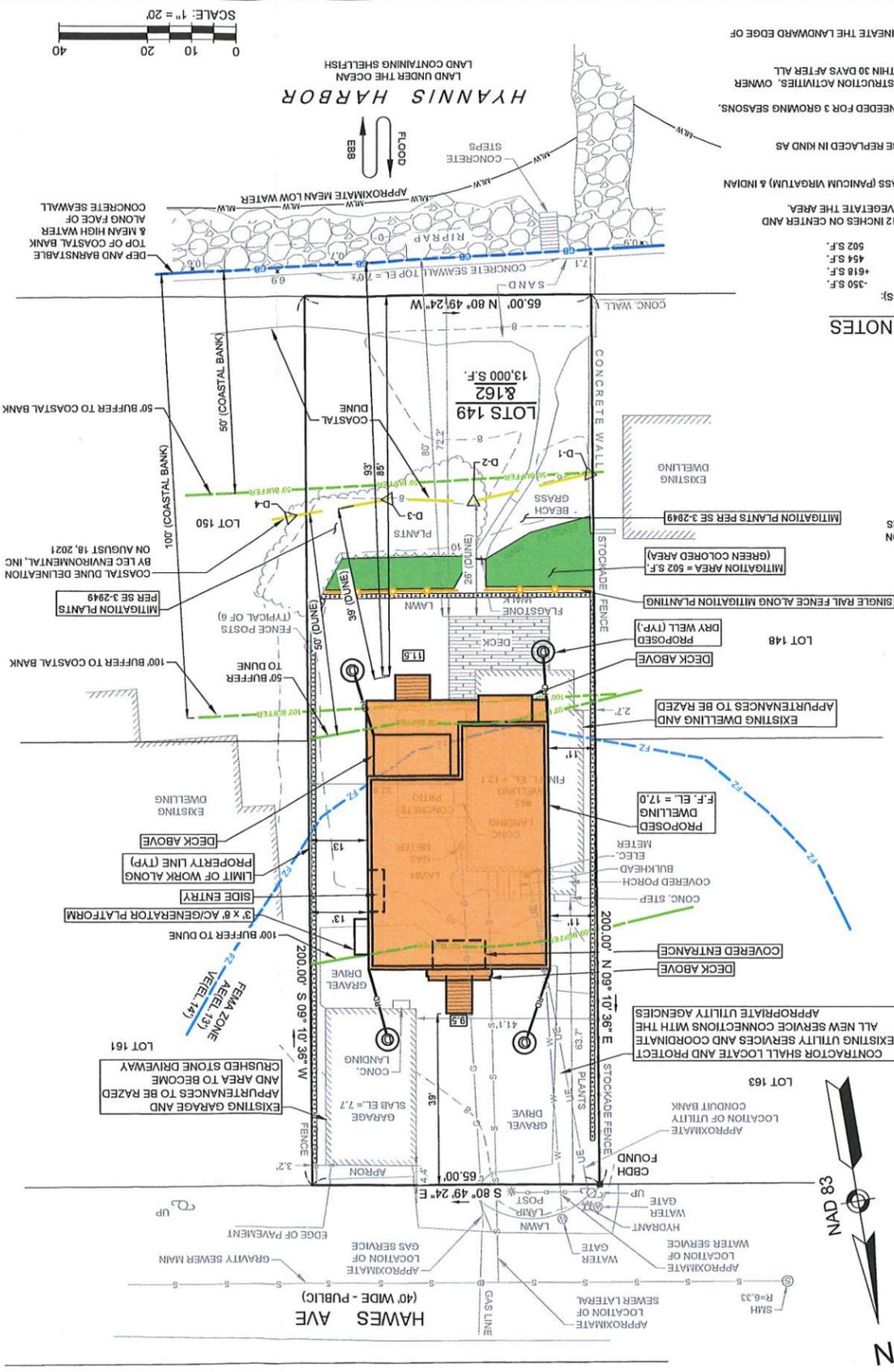
A0.0



MITIGATION PLANTING NOTES

MITIGATION CALCULATIONS (ALSO REFER TO PROJECT STATISTICS):
 NET CHANGE IN 0 - 50' BUFFER TO DUNE (265 - 615): -350 S.F.
 MITIGATION REQUIREMENTS = (4 x 350) + (3 x 615): +544 S.F.
 PROPOSED MITIGATION = 502 S.F.

STAGED RESTORATION PLANTING TO BE 2 PLUGS PLANTED 12 INCHES ON CENTER AND NECESSARY TO PROPERLY ESTABLISH VEGETATION.
 PLANTINGS SHALL BE MAINTAINED IN GOOD HEALTH AND SHALL BE REPLACED IN KIND AS PLANTS TO BE MAINTAINED IN GOOD HEALTH AND REPLACED AS NEEDED FOR 3 GROWING SEASONS.
 PLANTS TO BE MAINTAINED IN GOOD HEALTH AND REPLACED AS NEEDED FOR 3 GROWING SEASONS.
 SHALL NOTIFY CONSERVATION AGENT FOR FINAL INSPECTION WITHIN 30 DAYS AFTER ALL PLANTINGS HAVE BEEN INSTALLED.
 A POST & RAIL (SINGLE RAIL) FENCE SHALL BE INSTALLED TO DELINEATE THE LANDWARD EDGE OF THE MITIGATION PLANTINGS.



GENERAL NOTES

LOCATIONS ARE BASED ON AN "ON THE GROUND" INSTRUMENT SURVEY AND ELEVATIONS BASED ON THE NAD 1988 DATUM. COORDINATE SYSTEM USED IS THE MA-MINKLAND COORDINATE SYSTEM, DATUM: NAD 83, UNITS: U.S. SURVEY FEET.
 ENGINEERING UNITS WITH A PRECISION OF ONE TENTH (0.1') OF A FOOT.
 ZONING DISTRICT: RB, FLOODPLAIN DISTRICT
 PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION OF AE (ELEV 12) AND VE (ELEV 14) BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 25001C05683, WITH A MAP EFFECTIVE DATE OF JULY 16, 2014.

CONSERVATION NOTES

PRIOR TO ANY WORK COMMENCING, THE DEP FILE NUMBER SHALL BE POSTED ON A SIGN ON THE STREET SIDE OF THE LOT AND MAINTAINED IN A VISIBLE CONDITION THROUGHOUT THE PROJECT.
 THE LIMIT OF WORK SHALL BE INSTALLED PRIOR TO ANY WORK, DEMOLITION, EXCAVATION, CONSTRUCTION OR CLEARING OF VEGETATION. IN ORDER TO PREVENT DAMAGE TO THE INTERESTS OF THE ACT AND BYLAW, THE LIMIT OF WORK SHALL CONSIST OF A ROW OF STAKES OR COMPOST ROLL WITH SILT FENCE BACKING. THE SEEDMENT STOP ROLL WILL BE REPLACED AS NECESSARY TO BE MAINTAINED IN GOOD CONDITION THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD. NO FILL WILL BE ALLOWED TO BE PLACED AGAINST THE LIMIT OF WORK AT ANY TIME. UPON COMPLETION OF ALL CONSTRUCTION AND STABILIZATION OF THE SITE, SEDIMENT STOP ROLL WILL BE REMOVED AND PROPERLY DISPOSED OF. NO DEBRIS, EQUIPMENT OR MATERIALS WILL BE STORED, EVEN TEMPORARILY, OUTSIDE THE DESIGNATED LIMIT OF WORK. AREA WITH THE EXCEPTION OF EQUIPMENT AND MATERIALS RELATED TO THE PLANTINGS FOR THE REQUIRED MITIGATION. THE CONSTRUCTION SITE WILL BE CLEANED DAILY TO REMOVE ANY LOOSE DEBRIS. ALL DISTURBED AREAS WITHIN THE LIMIT OF WORK RESTORATION WILL BE STABILIZED TO PREVENT EROSION. STABILIZATION WILL BE DONE IMMEDIATELY FOLLOWING COMPLETION OF CONSTRUCTION.
 WORK LIES COMPLETELY WITHIN PREVIOUSLY DISTURBED AREAS.

PROJECT STATISTICS

- EXISTING DEVELOPMENT SETBACK TO COASTAL BANK (DECK); 80 FEET
- EXISTING DEVELOPMENT (HOUSE, DECK); 26 FEET
- EXISTING DEVELOPMENT (HOUSE, DECK, PATIOS) WITHIN 50' BUFFER; 615 S.F.
- EXISTING DEVELOPMENT (HOUSE, DECKS, PATIOS & DRIVEWAY) WITHIN 0 - 100' BUFFER; 1,470 S.F.
- PROPOSED DEVELOPMENT SETBACK TO COASTAL BANK (STAIRS); 93 FEET
- PROPOSED DEVELOPMENT (HOUSE, DECKS, PATIOS & DRIVEWAY) WITHIN 50' BUFFER; 285 S.F.
- PROPOSED DEVELOPMENT (HOUSE, DECKS, PATIOS & DRIVEWAY) WITHIN 0 - 100' BUFFER; 6,000 S.F.
- PROPOSED DISTURBANCE WITHIN FEMA FLOODPLAIN (REDEVELOPMENT); 9,000 S.F.

NOTICE: THIS PLAN MAY NOT BE ADDED TO, DELETED FROM, OR ALTERED IN ANY WAY BY ANYONE OTHER THAN CAPE & ISLANDS ENGINEERING, INC.
 UNLESS AND UNTIL SUCH TIME AS AN ORIGINAL (RED) STAMP APPEARS ON THIS PLAN OR PERSON OR PERSONS, IN WHOLE OR IN PART, HAVE BEEN IDENTIFIED HEREIN, AND THIS PLAN REMAINS THE PROPERTY OF CAPE & ISLANDS ENGINEERING, INC.
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DATE	DESCRIPTION	BY	CHK
11/15/21	ADD POST & RAIL FENCE & DUNE FLAGGING INFORMATION, REVERSE REAR STAIRS WIDTH & MITIGATION CALCULATIONS.	RLR	RLR

PREPARED FOR: MIDDRAG & DAJANA DELMIC, 8 KROL FARM ROAD, ROCKY HILL, CT 06067
 PROJECT: 65 HAWES AVENUE, HYANNIS, MASSACHUSETTS
 SHEET NO.: 1 OF 1
 DATE: AUGUST 30, 2021
 DRAWN BY: JVB, RLR
 CHECKED BY: MC

PREPARED BY: CAPE & ISLANDS ENGINEERING, 800 FALMOUTH ROAD SUITE 301C, MASHPEE, MA 02549
 508.477.7272 PHONE, 508.477.9072 FAX, www.CapeEng.com

SITE PLAN
 ASSESSORS INFORMATION: MAP 323 PARCEL 007
 HAWES_65_DELMIC_SS



Longfellow Design Build LLC

367 Main Street
Falmouth, MA 02540
Tom Galligan, PE
tomg@longfellowdb.com

January 28, 2022

Town of Barnstable
200 Main Street
Barnstable, MA 02601

RE: 65 Hawes Avenue Structural Survey

As requested, Longfellow Design Build LLC (LFDB) has performed a structural assessment of the single-family home located at 65 Hawes Avenue, Hyannis, Massachusetts and has provided a summary of our findings in this letter report.

EXECUTIVE SUMMARY

LFDB was requested to conduct a site visit to inspect the single-family home to assess overall structural stability and building code compliance, to document structural deficiencies, and to opine as to the possibility of preserving the building.

LFDB's scope of work included a site visit, visual documentation of existing conditions, and letter report presenting its findings. Photographs were taken and provided in Appendix A. LFDB did not perform an extensive existing condition survey or any testing in preparation for this report. LFDB's assessment only included open and accessible areas.

DESCRIPTION

The single-family home is a single story dwelling built circa 1930's. It is approximately 2000 square foot with four bedrooms and three bathrooms. The lot is approximately .09 acres. The house affronts Hawes Avenue (north elevation).

The structure's type of construction is Type V, conventional wood construction. The house is built with actual width 2 inch plus rafters and joists and 2x wood stud walls. Wood bearing walls transfer loads to wood carrying beams and sill plates. Foundation walls are concrete masonry unit block.

OBSERVATIONS

FOUNDATION

- CMU foundation walls support the structure.

Longfellow Design Build, LLC

- First step from exterior landing to basement stair is more than twelve (12 inches).
- Partial basement and crawl space
- Block Head and bed joints are exposed with grout degradation.

FIRST FLOOR

- The floor framing is 2x wood framing supported by wood carrying beams and exterior walls
- Floor sheathing 1X sheathing (original) plywood sheathing (kitchen addition)
- Floor is spongy and loose in the center of the house.
- Floor is out of plumb, level and square.
- Differential settlement noted throughout the first floor.

ROOF FRAMING

- The roof framing appeared to be in fair condition with minor damage noted in the attic.
- 1X roof planks missing in several areas.
- The roof covering is three-tab asphalt shingles which appeared to be in fair condition.
- Rafters are not securely fastened with hold down strapping.
- Ridge board is 1"

EXTERIOR/INTERIOR WALLS

- The house is covered in cedar shingles.
- The condition of the exterior is in poor condition.
- Wall framing is 2" studs space 27" +/- on center well above building code allowable limits.
- Proper insulation depths within stud cavity not achievable to meet building/energy code specifications.
- Fascia, soffit and trim boards are in poor condition with evidence of rot.
- Existing electrical system is old and exposed posing life safety issues.
- Exposed wiring noted in attic spaces.
- Exterior windows single pane glass with direct high wind exposure on three sides.
- Wood trim painted with lead based paint.

REQUIRED UPGRADES TO EXISTING STRUCTURE.

In my professional opinion upgrading the existing structure for year-round habitability would be cost prohibitive based upon the following:

Longfellow Design Build, LLC

FOUNDATION

- Existing structure is inadequate and shall require full replacement to adequately sized to support all vertical lateral (wind) loading.
- Structure is within high Velocity zone and not suited for direct wave impact loading.
- Mechanical fastening shall be required to be installed with nearly impossible working distances due to the existing structure.

FLOOR/ROOF FRAMING

- Existing floor/roof framing shall require reinforcement or replacement to satisfy current building code requirements.
- Structure is in high wind zone with no obstructions requiring additional resistance to high wind events.
- Lateral and Uplift reinforcement shall be required and may need additional structural reinforcement of existing framing elements.

WALLS AND WINDOWS

- Existing wall framing too small to meet current energy code requirements. Wall framing shall be required to be modified with additional framing to provide requisite depth for insulation values.
- Living space shall be greatly impacted from wall infringement due to energy envelope.
- Windows shall require replacement for high wind/impact glazing.
- Due to balloon framing, fire stopping shall be required in each stud by throughout the house.

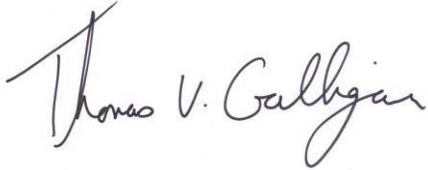
NEW CONSTRUCTION

- Structural elements and components shall be designed to meet current building and design code specifications.
- New structure shall be designed to resist high wind forces due to its proximity and to the water and clear, unobstructed wind path of this hilltop structure.
- Shearwall panels with hold-down mechanical fasteners shall be required.
- Compliance with all life safety regulations including wiring, water, exiting, and thermal protection.
- New construction removes hazardous materials (lead paint) issues.
- Installation of energy efficient mechanical systems beneficial to the homeowner and environment.
- Closed cell insulation to provide maximum energy efficiency.

Longfellow Design Build, LLC

If you have any questions regarding LFDB's findings, please feel free to contact us at your earliest convenience.

Prepared By:

A handwritten signature in black ink that reads "Thomas V. Galligan". The signature is written in a cursive style with a large, stylized initial 'T'.

Thomas V. Galligan, PE

Cc: file

Encl: Photo Log

Longfellow Design Build, LLC

Subject: 65 Hawes Avenue
Site Visit Date: 01.26.2022
Information:

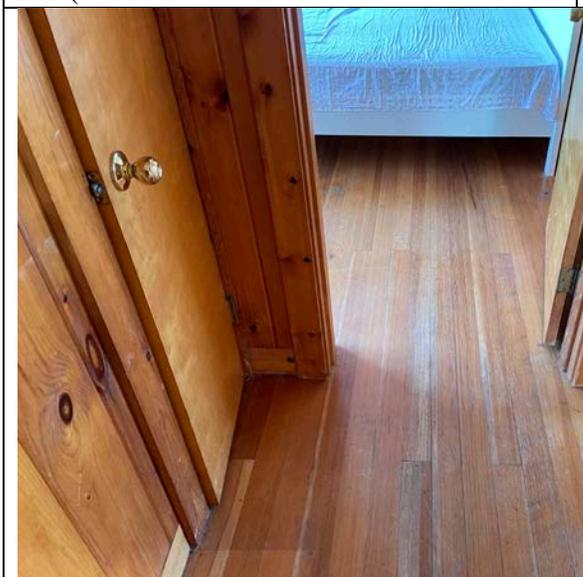
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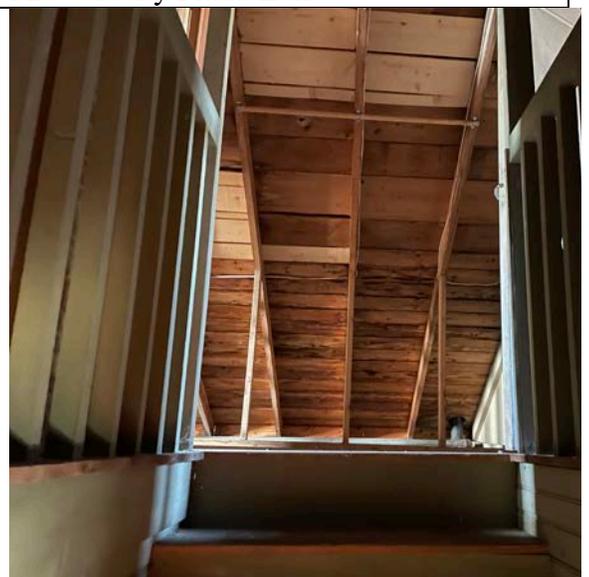
P1: (south elevation



P2: Velocity Flood Zone



P3: soft flooring (first floor)



P4: Existing roof Framing 2x6 rafters

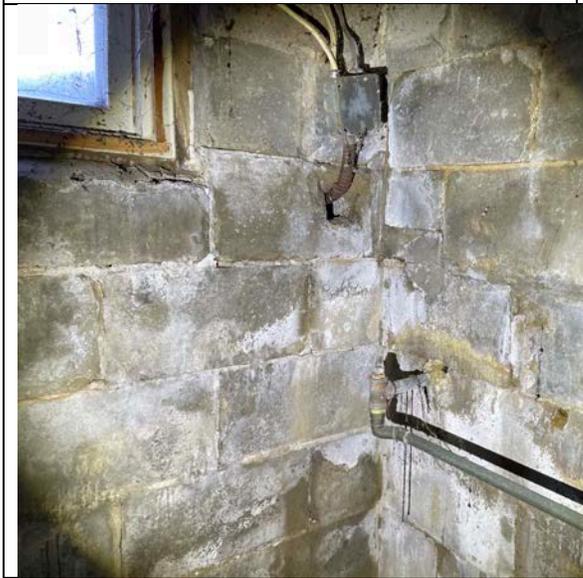
Longfellow Design Build, LLC



P5: 2x rafter spacing



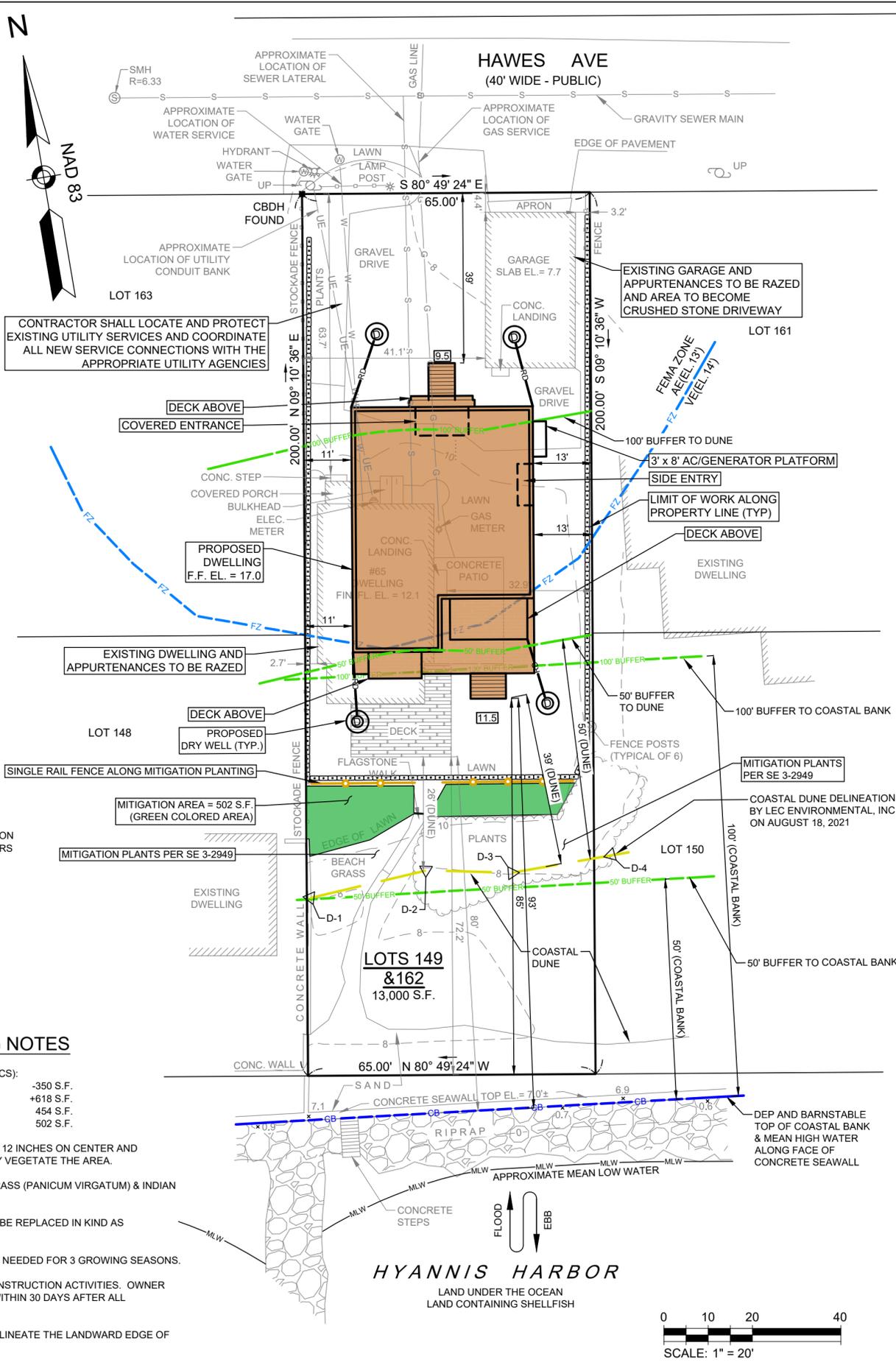
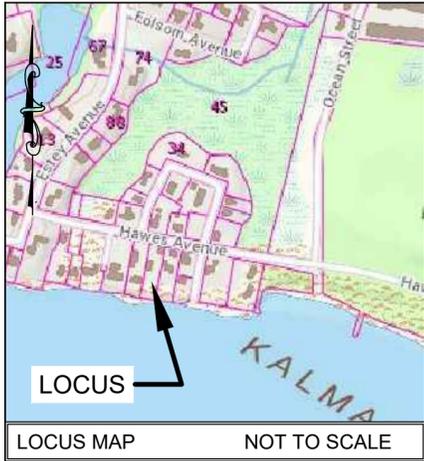
P6: Repaired First floor framing with temporary Posts



P7: Existing block wall



P8: Existing CMU wall, water intrusion



GENERAL NOTES

LOCATIONS ARE BASED ON AN "ON THE GROUND" INSTRUMENT SURVEY AND ELEVATIONS BASED ON THE NAVD 1988 DATUM. COORDINATE SYSTEM USED IS THE MA-MAINLAND COORDINATE SYSTEM, DATUM: NAD 83, UNITS: U.S. SURVEY FEET.

EXISTING BUILDING OFFSETS SHOWN HEREON ARE TO CORNER BOARDS OR SIDING EXTENTS AND ARE DISPLAYED IN ENGINEERING UNITS WITH A PRECISION OF ONE TENTH (0.1') OF A FOOT.

ZONING DISTRICT: RB, FLOODPLAIN DISTRICT

PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION OF AE (ELEV 12) AND VE (ELEV 14) BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 25001C0568J, WITH A MAP EFFECTIVE DATE OF JULY 16, 2014.

THIS LOT IS NOT LOCATED WITHIN A DEP APPROVED ZONE II WELLHEAD PROTECTION AREA. THIS LOT IS NOT MAPPED WITHIN A MESA NATURAL HERITAGE AND ENDANGERED SPECIES AREA. THIS LOT IS CONNECTED TO THE TOWN OF BARNSTABLE MUNICIPAL SEWER SYSTEM. WIND EXPOSURE CATEGORY: ZONE C

LOT COVERAGE: LOT AREA = 13,000 S.F.
 EXISTING LOT COVERAGE BY STRUCTURES = 2,295 S.F. (17.7%)
 PROPOSED LOT COVERAGE BY STRUCTURES - 240-91 H(1)(b)(2); 2,600 S.F. (20%)
 FLOOR AREA RATIO - 240-91 H(1)(b)(2): 1ST FLOOR 1,924 S.F. + 2ND FLOOR 1,916 S.F. = 3,840 S.F. / 13,000 S.F. = 0.30

DEED REFERENCE: BOOK 33281 PAGE 303 PLAN REFERENCE: BOOK 9 PAGE 103

OWNER: MIODRAG & DAJANA DELMIC
 8 KROL FARM ROAD, ROCKY HILL, CT 06067

CONSERVATION NOTES

PRIOR TO ANY WORK COMMENCING, THE DEP FILE NUMBER SHALL BE POSTED ON A SIGN ON THE STREET SIDE OF THE LOT AND MAINTAINED IN A VISIBLE CONDITION THROUGHOUT THE PROJECT.

THE LIMIT OF WORK WILL BE INSTALLED PRIOR TO ANY WORK, DEMOLITION, EXCAVATION, CONSTRUCTION OR CLEARING OF VEGETATION, IN ORDER TO PREVENT DAMAGE TO THE INTERESTS OF THE ACT AND BYLAW. THE LIMIT OF WORK WILL CONSIST OF A ROW OF STAKED SEDIMENT STOP OR COMPOST ROLL WITH SILT FENCE BACKING. THE SEDIMENT STOP ROLL WILL BE REPLACED AS NECESSARY TO BE MAINTAINED IN GOOD CONDITION THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD. NO FILL WILL BE ALLOWED TO BE PLACED AGAINST THE LIMIT OF WORK AT ANY TIME. UPON COMPLETION OF ALL CONSTRUCTION AND STABILIZATION OF THE SITE, SEDIMENT STOP ROLL WILL BE REMOVED AND PROPERLY DISPOSED OF.

NO DEBRIS, EQUIPMENT OR MATERIALS WILL BE STORED, EVEN TEMPORARILY, OUTSIDE THE DESIGNATED LIMIT OF WORK AREA WITH THE EXCEPTION OF EQUIPMENT AND MATERIALS RELATED TO THE PLANTINGS FOR THE REQUIRED MITIGATION.

THE CONSTRUCTION SITE WILL BE CLEANED DAILY TO REMOVE ANY LOOSE DEBRIS. ALL DISTURBED AREAS WITHIN THE LIMIT OF WORK REQUIRING RESTORATION WILL STABILIZED TO PREVENT EROSION. STABILIZATION WILL BE DONE IMMEDIATELY FOLLOWING COMPLETION OF CONSTRUCTION.

WORK LIES COMPLETELY WITHIN PREVIOUSLY DISTURBED AREAS.

PROJECT STATISTICS

- EXISTING DEVELOPMENT SETBACK TO COASTAL BANK (DECK): 80 FEET
- EXISTING DEVELOPMENT SETBACK TO COASTAL DUNE (DECK): 26 FEET
- EXISTING DEVELOPMENT (HOUSE, DECKS, PATIOS) WITHIN 50' BUFFER: 615 S.F.
- EXISTING DEVELOPMENT (HOUSE, DECKS, PATIOS & DRIVEWAY) WITHIN 0 - 100' BUFFER: 1,470 S.F.
- PROPOSED DEVELOPMENT SETBACK TO COASTAL BANK (STAIRS): 93 FEET
- PROPOSED DEVELOPMENT SETBACK TO COASTAL DUNE (STAIRS): 39 FEET
- PROPOSED DEVELOPMENT (DECKS) WITHIN 50' BUFFER: 265 S.F.
- PROPOSED DEVELOPMENT (HOUSE, DECKS, PATIOS & DRIVEWAY) WITHIN 0 - 100' BUFFER: 2,088 S.F.
- PROPOSED DISTURBANCE WITHIN FEMA FLOODPLAIN (REDEVELOPMENT): 6,000± S.F.

NOTICE
 THIS PLAN MAY NOT BE ADDED TO, DELETED FROM, OR ALTERED IN ANY WAY BY ANYONE OTHER THAN CAPE & ISLANDS ENGINEERING, INC.

UNLESS AND UNTIL SUCH TIME AS AN ORIGINAL (RED) STAMP APPEARS ON THIS PLAN NO PERSON OR PERSONS, MUNICIPAL OR PUBLIC OFFICIAL MAY RELY UPON THE INFORMATION CONTAINED HEREIN; AND THIS PLAN REMAINS THE PROPERTY OF CAPE AND ISLANDS ENGINEERING, INC.

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DATE	DESCRIPTION	BY	CHK
11/15/21	ADD POST & RAIL FENCE & DUNE FLAGGING INFORMATION, REVISE REAR STAIRS WIDTH & MITIGATION CALCULATIONS.	RLR	RLR

PREPARED FOR:
 MIODRAG & DAJANA DELMIC
 8 KROL FARM ROAD
 ROCKY HILL, CT 06067

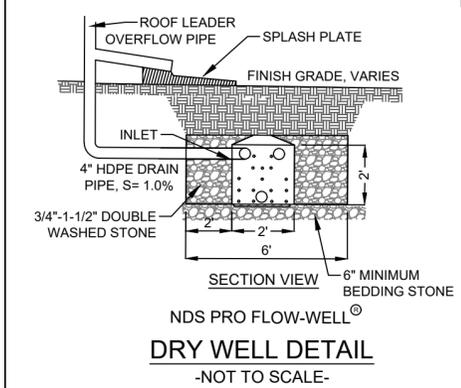
PROJECT:
 65 HAWES AVENUE
 HYANNIS, MASSACHUSETTS

SHEET NO.: 1 OF 1 DATE: AUGUST 30, 2021
 DRAWN BY: JVB, RLR CHECKED BY: MC

PREPARED BY:

 SUMMERFIELD PARK 800 FALMOUTH ROAD SUITE 301C MASHPEE, MA 02649
 508.477.7272 PHONE 508.477.9072 FAX www.CapeEng.com

DRAWING TITLE:
 SITE PLAN
 ASSESSORS INFORMATION: MAP 323 PARCEL 007



- LEGEND**
- CB CONCRETE BOUND
 - HYDRANT
 - WATER SHUTOFF
 - CATCH BASIN SQUARE
 - UTILITY POLE
 - LIGHT POLE
 - LIMIT OF WORK/CONSTRUCTION
 - 100' BUFFER
 - 50' BUFFER
 - CB TOP OF COASTAL BANK
 - FZ FLOOD ZONE BOUNDARY
 - CLEARING LINE
 - OHW OVERHEAD WIRES
 - S SEPTIC LINE
 - W WATER LINE
 - RD ROOF DRAIN PIPE
 - G GAS LINE
 - POST & RAIL FENCE
 - STOCKADE FENCE

MITIGATION PLANTING NOTES

MITIGATION CALCULATIONS (ALSO REFER TO PROJECT STATISTICS):
 NET CHANGE IN 0 - 50' BUFFER TO DUNE (265 - 615): -350 S.F.
 NET CHANGE IN 50 - 100' BUFFER TO DUNE (2,088 - 1,470): +618 S.F.
 MITIGATION REQUIREMENTS = [4 x -350] + [3 x 618]: 454 S.F.
 PROPOSED MITIGATION = 502 S.F.

PROPOSED RESTORATION PLANTINGS TO BE 2 PLUGS, PLANTED 12 INCHES ON CENTER AND STAGGERED IN FORMATION OR AS NECESSARY TO ADEQUATELY VEGETATE THE AREA.

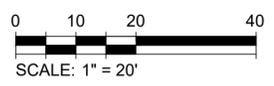
PROPOSED PLANTINGS INCLUDE A COMBINATION OF SWITCH GRASS (PANICUM VIRGATUM) & INDIAN GRASS (SORGHASTRUM NUTANS)

PLANTINGS SHALL BE MAINTAINED IN GOOD HEALTH AND SHALL BE REPLACED IN KIND AS NECESSARY TO PROPERLY ESTABLISH VEGETATION.

PLANTS TO BE MAINTAINED IN GOOD HEALTH AND REPLACED AS NEEDED FOR 3 GROWING SEASONS.

PLANTINGS SHALL BE INSTALLED PRIOR TO COMPLETION OF CONSTRUCTION ACTIVITIES. OWNER SHALL NOTIFY CONSERVATION AGENT FOR FINAL INSPECTION WITHIN 30 DAYS AFTER ALL PLANTINGS HAVE BEEN INSTALLED.

A POST & RAIL (SINGLE RAIL) FENCE SHALL BE INSTALLED TO DELINEATE THE LANDWARD EDGE OF THE MITIGATION PLANTINGS.



Property ID: 32300200A
BELISLE, MARCELLE ANNETTE TR
MARCELLE ANNETTE BELISLE REV TRUST
197 8TH STREET
CHARLESTOWN. MA 02129

Property ID: 32300200B
FALLON, KAREN TR
MYERS FAMILY REALTY TRUST
31 KNOWLES STREET
NEWTON CENTRE. MA 02459

Property ID: 32300200C
STEIN, STEPHEN B & E JENNIFER
1519 HIGH STREET
WESTWOOD. MA 02090

Property ID: 32300200D
CONRAD, DONALD & MARY JANE
21 STEPHEN DRIVE
GLEN MILLS. PA 19342

Property ID: 32300200E
PATERSON, DONNA J
804 SOUTH STREET
HOLBROOK. MA 02343

Property ID: 32300200F
OBRIEN, BARRY & ALICE
8 LONGWOOD LN
WALPOLE. MA 02081-2274

Property ID: 32300200G
EDWARDS, RICHARD L & BETSEY A
111 PERKINS ST APT 146
JAMAICA PLAIN. MA 02130

Property ID: 32300200H
MICHAEL, STEPHEN J
3740 OCEAN BEACH BLVD #802
COCOA BEACH. FL 32931

Property ID: 323003
31 HAWES AVENUE LLC
C/O JOAN SMITH, MANAGER
170 LOCUST LA
IRVINGTON. NY 10533

Property ID: 323004
LIPPART, JACK D & DALE
554 13TH AVE
PROSPECT PARK. PA 19076

Property ID: 323005
LIPPART, JACK D & DALE
554 13TH AVE
PROSPECT PARK. PA 19076

Property ID: 323006
COVENEY, NANCY C
57 HAWES AVENUE
HYANNIS. MA 02601

Property ID: 323007
DELMIC, MIODRAG & DAJANA
8 KROL FARM ROAD
ROCKY HILL. CT 06067

Property ID: 323008
SLOTT, ROBERT S & SUSAN M
71 HAWES AVENUE
HYANNIS. MA 02601

Property ID: 323009
DILETIZIA, CLAUDIO & MARIA
272 SUMMER STREET
WESTWOOD. MA 02090

Property ID: 323010
TSIEN EDDY LLC
11 MOUNTAINSIDE DRIVE
MORRISTOWN. NJ 07960

Property ID: 323011
GREIG, HENRY FOX II & TAMASINE CONWAY
162 5TH STREET
STAMFORD. CT 06905

Property ID: 324058
BARNSTABLE, TOWN OF (CON)
CONSERVATION COMMISSION
200 MAIN STREET
HYANNIS. MA 02601

Property ID: 324066
HEON, MARC ROBERT & HEATHER
14 FARM HILL ROAD
NATICK. MA 01760

Property ID: 324067
CHARTIER, JAMES R & TERRY A
11 OVERLOOK DRIVE
LEICESTER. MA 01524

Property ID: 324068
BOTTE, MICHAEL J & CHERYL M TRS
40 CIRCUIT LANE
WALTHAM. MA 02154

Property ID: 324071
COLLINS, PETER H
PO BOX 448
MILTON. MA 02186

Property ID: 324072
FERRY, WILLIAM M & ANNE S
64 WHIDDEN AVE
HYANNIS. MA 02601

Property ID: 324073
BOSCHETTI, DEBRA M TR
32 HAWES AVENUE REALTY TRUST
401 WEST FIRST ST UNIT 401
BOSTON. MA 02127

Property ID: 324075
BOLKHOUSKY, VLADIMIR & ALLA
45 PERRY HENDERSON DRIVE
FRAMINGHAM. MA 01701

Property ID: 324076
LOCHRIE, ANNETTE & JOHN BLAKE
57 WINDSOR AVENUE
ACTON. MA 01720

Property ID: 324077
MAHONEY, JAMES E & CAROLYN E
13 EASTBROOK DRIVE
NASHUA. NH 03060

Property ID: 324102
KVARTUNAS, JOHN & DEIDRE
7011 HUNDSFORD LANE
SPRINGFIELD. VA 22153

Property ID: 324103
KVARTUNAS, JOHN & DEIDRE
7011 HUNDSFORD LANE
SPRINGFIELD. VA 22153

Property ID: 324104
FRISOLI, JANICE A
797 CAMBRIDGE ST
CAMBRIDGE. MA 02141



**TOWN OF BARNSTABLE Planning &
Development Department Barnstable
Historical Commission**
www.town.barnstable.ma.us/historicalcommission

DO NOT TIME STAMP THIS
SHEET

Town Clerk's stamp is to be placed
on the first page of the application
which is page 2 of this packet.

Thank you.

NOTICE OF INTENT TO DEMOLISH A SIGNIFICANT BUILDING

Application Requirements

- Application Hard Copies - 2 Copies** Complete all sections of the application form including "detail of demolition proposed" and "type of new construction proposed" narratives. Three copies of the application and supporting documents shall be submitted to and stamped by the Town Clerk at 367 Main Street, Hyannis. Applications should be left in the Town Clerks drop box outside of the entrance that faces the Town Green
- Application Electronic Copy** - Email the application & supporting documents to grayce.rogers@town.barnstable.ma.us
- Supporting Documents - 2 Copies** - all plans should be on 11"X17" paper only
- Photographs** Include photos of:
Each elevation where demolition is proposed
Structure from all abutting streets
- Site Plan** A plan showing:
All structures on the lot
All proposed demolition, additions or changes to those structures
Existing & Proposed structure footprint
- Elevations** Detailed elevations of all building facades outlining existing and proposed.
An existing floor plan must be included highlighting the areas to be demolished.
- \$100 Filing Fee** \$100 fee shall be submitted with the application. Check made payable to the Town of Barnstable.
- \$39.68 Advertising Fee** The applicant shall pay the cost of the required two advertisements in the local newspaper. Separate check made payable to the Town of Barnstable.
- Postage Stamps** First class postage stamps are required for abutter notification. Commission support staff will provide the number of stamps required.

****Should the Barnstable Historical Commission Chair determine that a hearing is not required, both the Legal ad fee and postage stamps will be returned to the applicant****

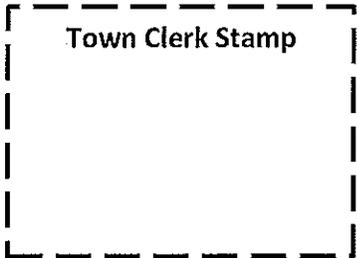
ADDITIONAL INFORMATION

To prevent delays in processing, please provide all requested information with the application
The applicant or a representative must be present at the public hearing

Please contact the Planning & Development Department at 367 Main Street, Hyannis,
(508) 862-4787 or contact Grayce Rogers at grayce.rogers@town.barnstable.ma.us with any
questions



TOWN OF BARNSTABLE Planning & Development Department Barnstable
Historical Commission
www.town.barnstable.ma.us/historicalcommission



NOTICE OF INTENT TO DEMOLISH A SIGNIFICANT BUILDING

Date of Application February 14, 2022 Full Demotion Partial Demolition

Building Address: 1068 Craigville Beach Road
Number Street

Centerville 02632 Assessor's Map # 206 Assessor's Parcel # 133
Village ZIP

Property Owner: Pericles Ambulos & Mary Kuh-Ambulos 508-560-0782
Name Phone#

Property Owner Mailing Address (if different than building address) 2 Harding Hill, Chilmark, MA 02535

Property Owner e-mail address: pambulos@gmail.com

Contractor/Agent: Law Office of Singer & Singer, LLC

Contractor/Agent Mailing Address: PO Box 67 - 26 Upper County Road, Dennisport, MA 02639

Contractor/Agent Contact Name and Phone #: Marian Rose, Esquire 508-398-2221
Name Phone #

Contractor/Agent Contact e-mail address: msrose@singer-law.com

Demolition Proposed - please itemize all changes:

Applicant proposes to expand and partially enclose an existing deck.
Existing north-facing kitchen wall will be demolished and the addition will be constructed over part of the
existing deck and the expanded area bordering deck to the west as shown on plans approved by ZBA
Decision 2021-061.

Type of New Construction Proposed: addition to single-family dwelling

Provide information below to assist the Commission in making the required determination regarding the status of the Building in accordance with Article 1, § 112

Year built: 1946 Additions Year Built: _____

Is the Building listed on the National Register of Historic Places or is the building located in a National Register District?
 No Yes

Marian S. Rose Esq.
 Property Owner/Agent Signature



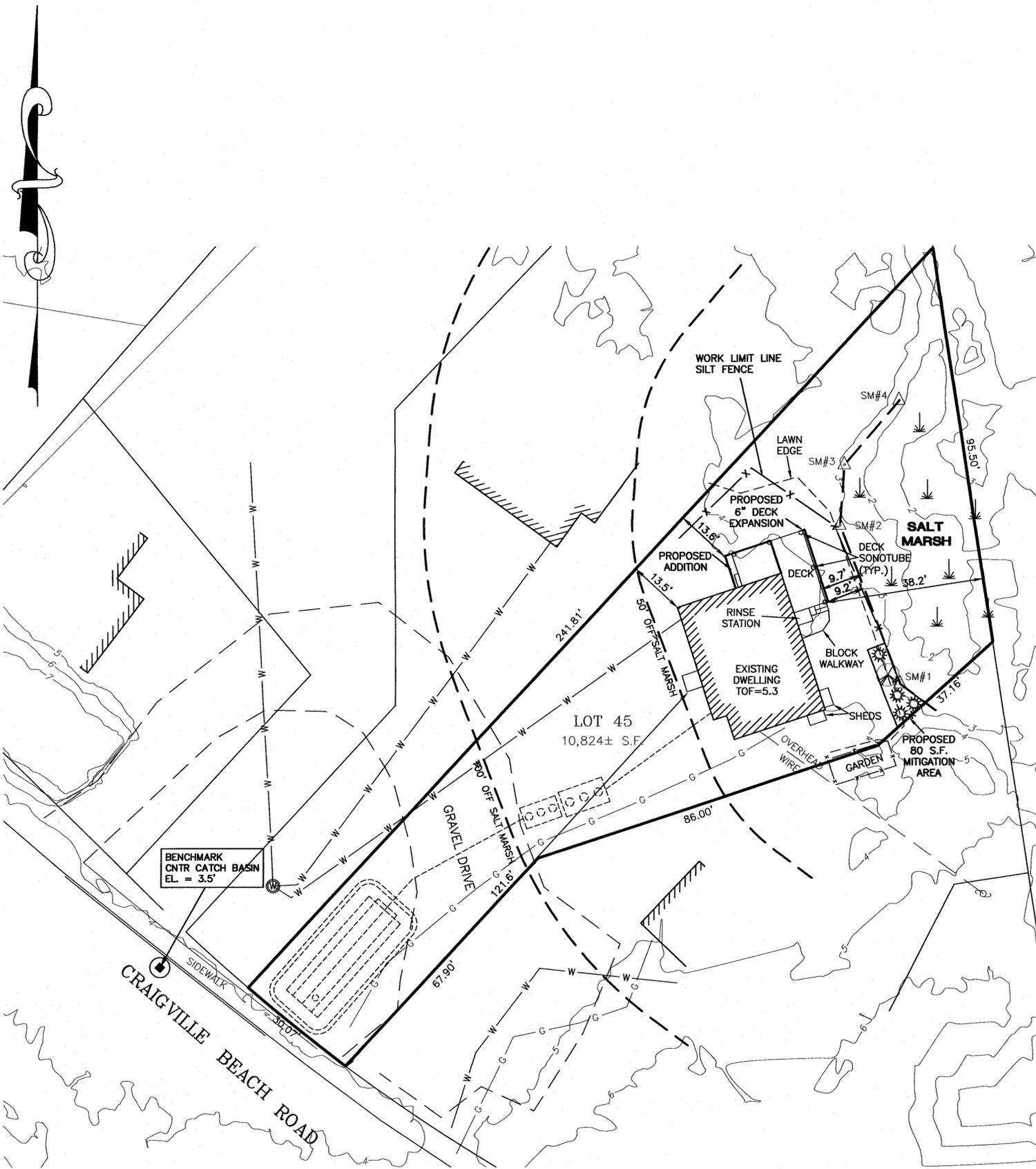












NOTES

1. DATUM IS NAVD88
2. THIS PLAN IS FOR PROPOSED WORK ONLY AND NOT TO BE USED FOR LOT LINE STAKING OR ANY OTHER PURPOSE.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING DIGSAFE (1-888-344-7233) AND VERIFYING THE LOCATION OF ALL UNDERGROUND & OVERHEAD UTILITIES PRIOR TO COMMENCEMENT OF WORK.
4. EXISTING SEPTIC LOCATION PER TIE-CARD ON FILE WITH TOWN.
5. WETLAND FLAGGED BY BRAD HALL OF BLH ENVIRONMENTAL CONSULTANTS.

MITIGATION CALCULATIONS:

AREA WITHIN 100' OF SALT MARSH
 HARDSCAPE 0-50'

EXISTING: 1,147 SF
 PROPOSED: 1,167 SF
 INCREASE: 20 SF
 REQUIRED MITIGATION : 20x4 = 80 SF

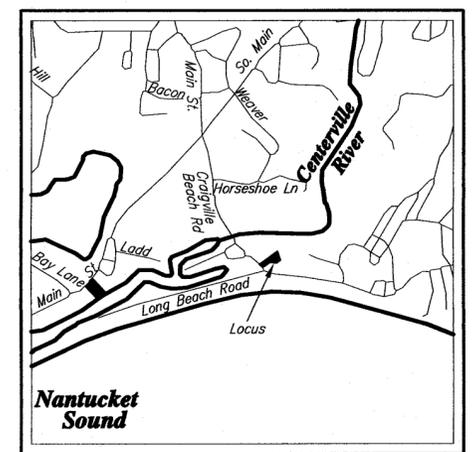
100 SF MITIGATION PLANTINGS PROVIDED. SPECIES AND SPACING TO BE PER CAPE COD COOPERATIVE EXTENSION "TREES AND SHRUBS FOR COASTAL ENVIRONMENTS" LIST, SHADE TOLERANT SPECIES REQUIRED FOR AREAS UNDER CANOPY. OWNER/LANDSCAPER TO COORDINATE SELECTION WITH CONSERVATION DEPARTMENT.

MITIGATION PLANTING SCHEDULE			
SYMBOL	PLANT NAME	SIZE	QUANT.
	RED CHOKEBERRY ARONIA ARBUTIFOLIA	4'-6" O.C.	3 GAL. 1
	SWEET FERN COMPTONIA PEREGRINA	3'-3.5" O.C.	3 GAL. 4

ZONING SUMMARY

ZONING DISTRICT: CBD-CB

	REQUIRED	EXISTING	PROPOSED
MIN. LOT SIZE	87,120 S.F.	10,824 S.F.	10,824 S.F.
MIN. LOT FRONTAGE	100'	30.07'	30.07'
MIN. FRONT SETBACK	20'	121.6'	121.6'
MIN. SIDE SETBACK	15'	13.5'	13.5'
MIN. REAR SETBACK	15'	38.2'	37.7'
MAX. BUILDING HEIGHT	26'	<26'	<26'
MAX. BUILDING COVERAGE	1833 S.F.	1147 S.F.	1167 S.F.
MAX. LOT COVERAGE	3,300 S.F.	2264 S.F.	2264 S.F.



LOCUS MAP

SCALE 1"=2000'±
 ASSESSORS MAP 206 PARCEL 133
 LOCUS IS WITHIN FEMA FLOOD ZONE AE EL. 13 AS SHOWN ON COMMUNITY PANEL #25001C0564J DATED 7/16/2014

OWNER OF RECORD

PERCILES C. AMBULOS & MARY L. KUH-AMBULOS
 1068 CRAIGVILLE BEACH ROAD
 CENTERVILLE, MA 02632

REFERENCES

CERT. #221213
 LCP 9288-T

SITE PLAN

OF
1068 CRAIGVILLE BEACH ROAD
CENTERVILLE, MA

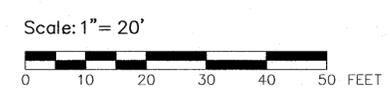
PREPARED FOR
PERRY AMBULOS

DATE: AUGUST 25, 2021
 REV: SEPTEMBER 24, 2021 (SHEDS, PLANT SIZE)
 REV: OCTOBER 19, 2021 (CON COMM COMMENTS)



10-19-21
 DATE DANIEL A. OJALA, P.E., P.L.S.

off 508-362-4541
 fax 508-362-9880
 downcape.com @
down cape engineering, inc.
 civil engineers
 land surveyors
 939 Main Street (Rte 6A)
 YARMOUTHPORT MA 02675
 21-123 AMBULOS.DWG

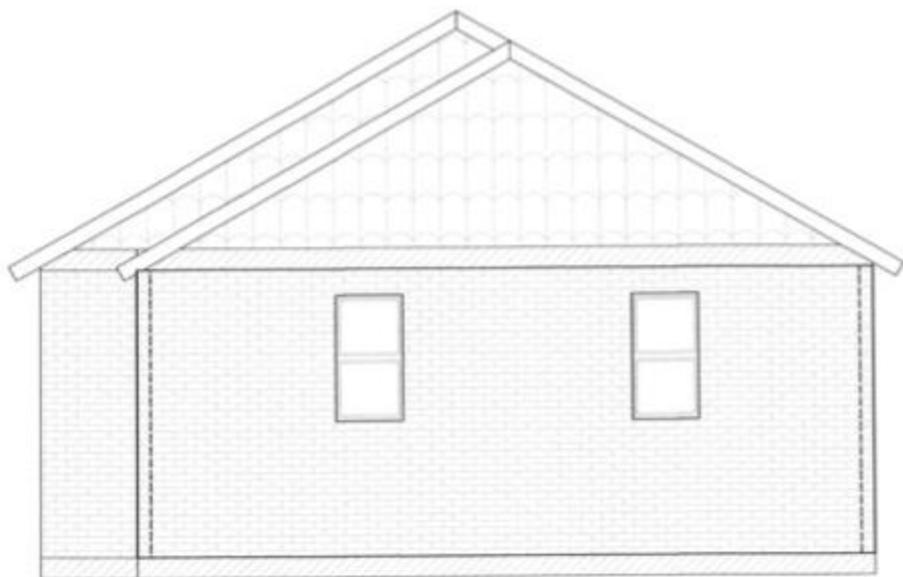




Proposed left elevation



Proposed Front elevation

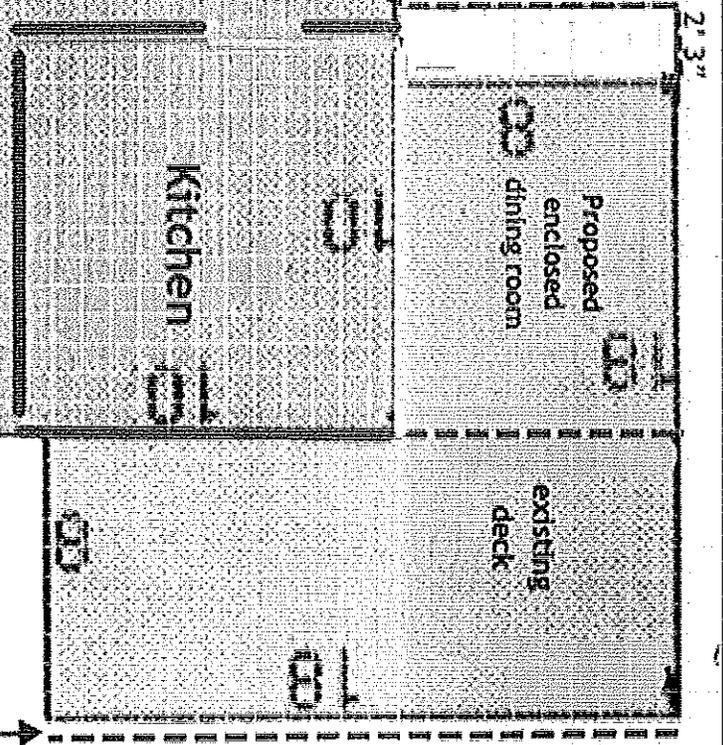


existing view from south or right

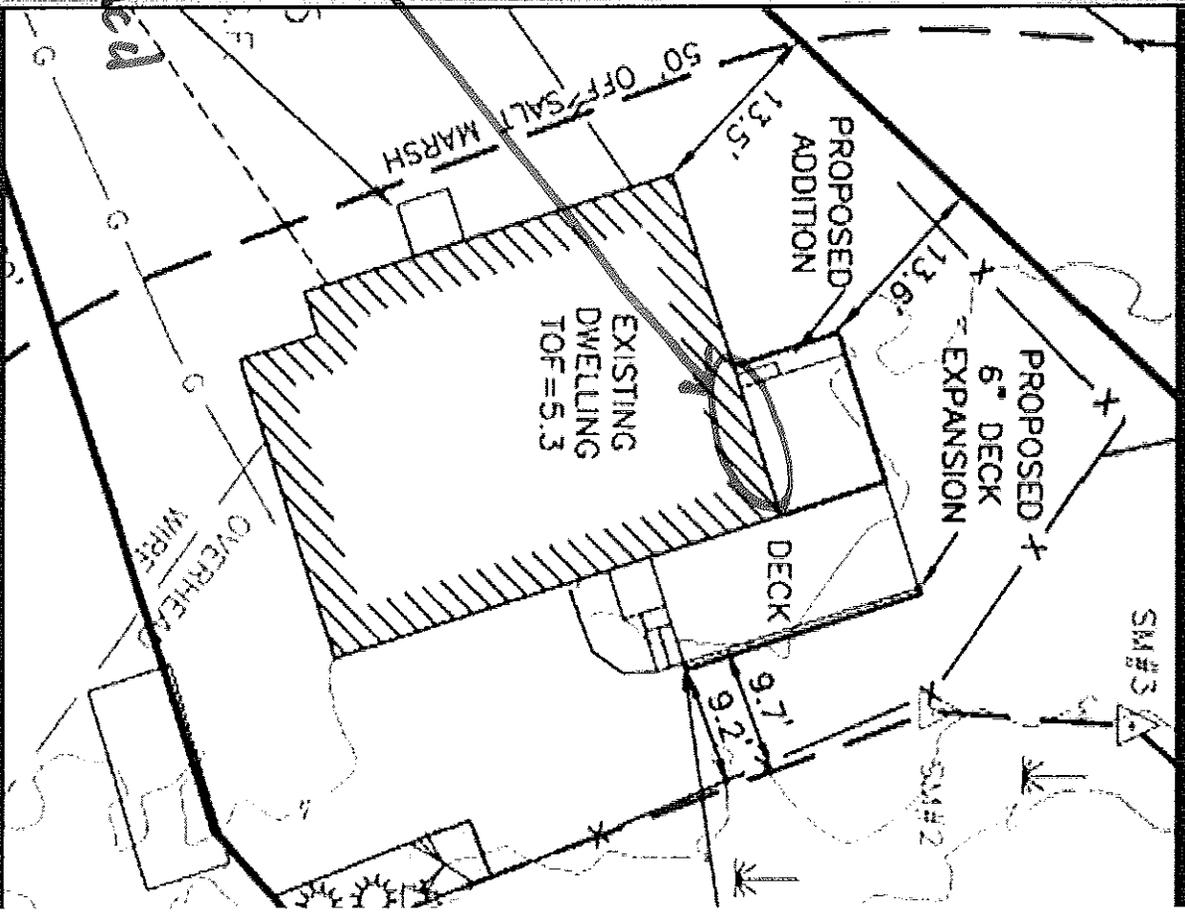


Proposed Rear elevation

Ambolos
1068 Craigville Beach Rd
Centerville, MA



well to be demolished



Property ID: 206012
BEACH CLUB OF CRAIGVILLE INC
P O BOX 297
CENTERVILLE. MA 02632

Property ID: 206013
BARNSTABLE. TOWN OF (BCH)
367 MAIN STREET
HYANNIS. MA 02601

Property ID: 206014
LAW. MARK B
57 CROCKER ROAD
WEST BARNSTABLE. MA 02668

Property ID: 206015
LAW. MARK B
57 CROCKER ROAD
WEST BARNSTABLE. MA 02668

Property ID: 206016
BEACH CLUB OF CRAIGVILLE INC
P O BOX 297
CENTERVILLE. MA 02632

Property ID: 206092
GLENN. LYNNE
1262 WEATHERSTONE DRIVE
ATLANTA. GA 30324

Property ID: 206094
BEST BUDDIES SUPPORTING CORP INC
100 SOUTHEAST SECOND ST
STE 2200
MIAMI. FL 33131

Property ID: 206099
OZTEMEL. GLENN
4 STONEY POINT ROAD
WESTPORT. CT 06880

Property ID: 206100
GRAZIOSI. JOSEPH TR
GRAZIOSI FAMILY TRUST
1085 CRAIGVILLE BEACH ROAD
CENTERVILLE. MA 02632

Property ID: 206107
BARNSTABLE LAND TRUST INC
1540 MAIN STREET
WEST BARNSTABLE. MA 02668

Property ID: 206108
GIKAS. GEORGE J & CHERYL A
24 GILMAN LANE
NORTH ANDOVER. MA 01845

Property ID: 206112
CASEY. PAUL H
122 THATCHER ST
WESTWOOD. MA 02090

Property ID: 206113
SIMAS.RAYMOND&SHAMP.TINA&MOCCIA.LISA
SIMAS IRREVOCABLE TRUST
10 DIAMOND STREET
NORTH ATTLEBORO. MA 02760

Property ID: 206114
WANTUCK. DAVID P
45 PROVINCE ST.. UNIT #1901
BOSTON. MA 02108

Property ID: 206115
CASEY. ELAINE J TR
ELAINE J CASEY REVOCABLE TRUST
69 EDGEWATER LANE
NEEDHAM. MA 02492

Property ID: 206119
BARNSTABLE LAND TRUST INC
1540 MAIN STREET
WEST BARNSTABLE. MA 02668

Property ID: 206120
BARNSTABLE LAND TRUST INC
1540 MAIN STREET
WEST BARNSTABLE. MA 02668

Property ID: 206121
BARNSTABLE LAND TRUST INC
1540 MAIN STREET
WEST BARNSTABLE. MA 02668

Property ID: 206122
BARNSTABLE LAND TRUST INC
1540 MAIN STREET
WEST BARNSTABLE. MA 02668

Property ID: 206126
PALERMO. CHRISTOPHER D & LAURIE F
708 PEACH TREE DRIVE
WEST CHESTER. PA 19380

Property ID: 206127
TATIAN. MICHAEL & PETER & MATTHEW
195 SPEEN STREET
NATICK. MA 01760

Property ID: 206128
STEWART. ROBERT J & LAURIE J
1090 CRAIGVILLE BEACH ROAD
CENTERVILLE. MA 02632

Property ID: 206129
CONVERSE. DANIEL B & TERESA L
2 OLD RIVER ROAD
BARRINGTON. RI 02806

Property ID: 206130
LAMENZA. LINDA A
5 ROCKWOOD LANE
LINCOLN. MA 01773

Property ID: 206131
DEANGELO. DOMENIC W & LISA C TRS
DEANGELO FAMILY TRUST
5 MICHAEL ROAD
EAST BRIDGEWATER. MA 02333

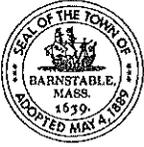
Property ID: 206132
SCOTT. THOMAS A & CAROL A
125 KENDALL RD
LEXINGTON. MA 02173

Property ID: 206133
AMBULOS. PERICLES C & MARY L KUH-
1068 CRAIGVILLE BEACH ROAD
CENTERVILLE. MA 02632

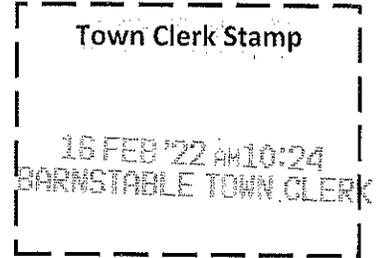
Property ID: 206134
1060 CRAIGVILLE BEACH ROAD LLC
704 MAIN STREET
FALMOUTH. MA 02540

Property ID: 206135
BEAUREGARD. TODD D & ANNE
137 FAIRMONT ST
LOWELL. MA 01852-3719

Property ID: 206136
DRAKE. DAVID G & LLINAS. JACQUELINE B
318 BANYAN WAY
MELBOURNE BEACH. FL 32951



TOWN OF BARNSTABLE
Planning & Development Department
Barnstable Historical Commission
www.town.barnstable.ma.us/historicalcommission



NOTICE OF INTENT TO DEMOLISH A SIGNIFICANT BUILDING

Date of Application February 15, 2022 Full Demotion Partial Demolition

Building Address: 67 Long Beach Road
Number Street

Centerville 02632 Assessor's Map # 206 Assessor's Parcel # 019
Village ZIP

Property Owner: Robert Gould Name Phone#

Property Owner Mailing Address (if different than building address) _____

Property Owner e-mail address: _____

Contractor/Agent: Michael F. Schulz

Contractor/Agent Mailing Address: Schulz Law Offices, LLC, 1340 Main Street, Osterville, MA 02655

Contractor/Agent Contact Name and Phone #: _____ 508-428-0950
Name Phone #

Contractor/Agent Contact e-mail address: mschulz@schulzlawoffices.com

Demolition Proposed - please itemize all changes:

The Applicant seeks to renovate the second floor in accordance with the attached plans, which include the following:

update side to match first floor pre-dipped white cedar shingles, replace asphalt roof with red cedar roof; FRONT EL. - add gambrel roof with covered entry, move/replace windows per plan to match first floor, create extension over right and left side of house; RIGHT/LEFT ELV. - change roof line based on gambrel, add extension per plan, move/replace windows; REAR EL. - add deck on second floor and extend deck on first floor, move/replace windows, add door to deck.

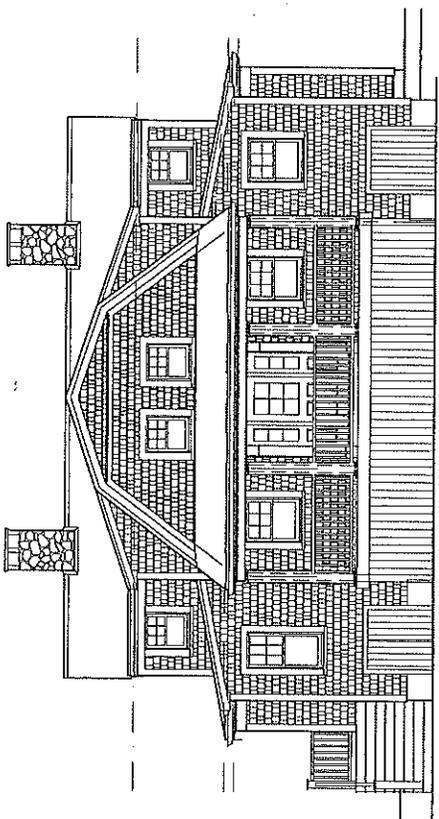
Type of New Construction Proposed: see above

Provide information below to assist the Commission in making the required determination regarding the status of the Building in accordance with Article 1, § 112

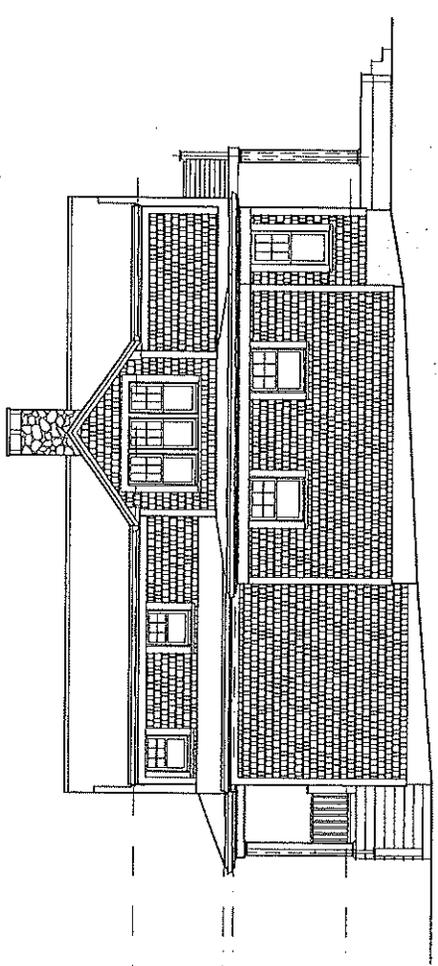
Year built: approx. 1930 Additions Year Built: _____

Is the Building listed on the National Register of Historic Places or is the building located in a National Register District?
 No Yes

Michael F. Schulz
 Property Owner/Agent Signature



FRONT ELEVATION



RIGHT SIDE ELEVATION

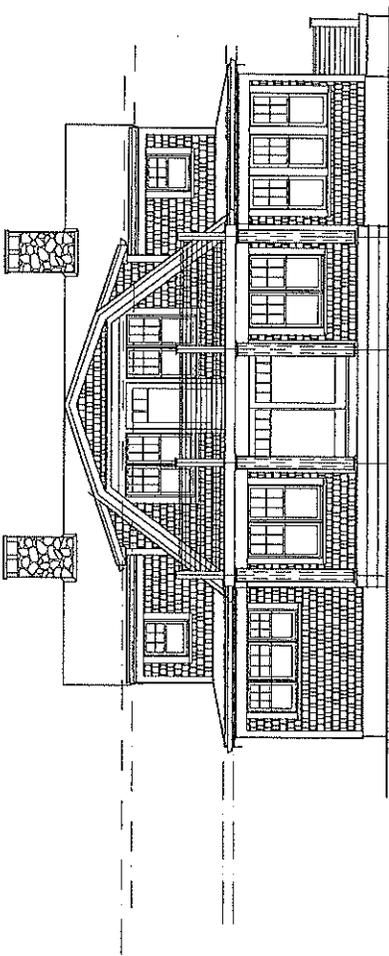
REVISIONS

BELLE INTERIORS, LLC
Elaine Bellefeuille
17 Derby Lane
Haverick, MA 02645
508-280-7031

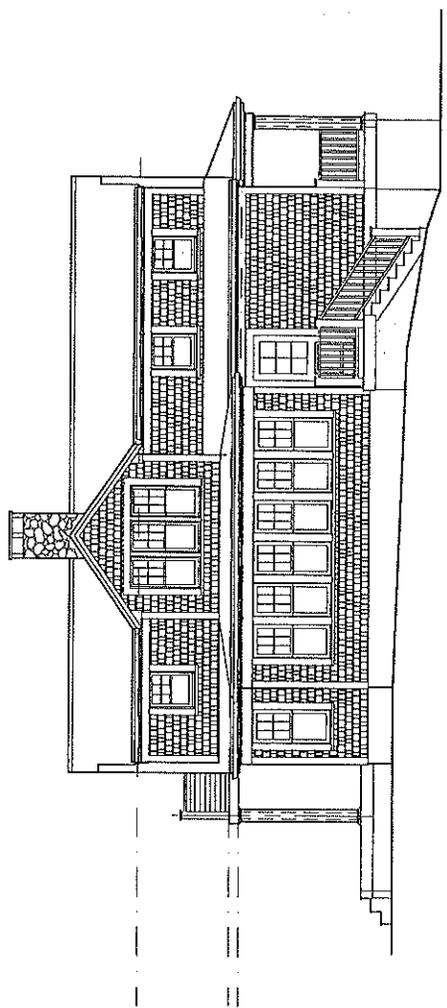
PROJECT: **GOULD RESIDENCE**
87 LONG BEACH AVE, CENTREVILLE, MA
TITLE: PROPOSED ELEVATIONS

DATE: 03/10/22
SCALE: 1/8" = 1'-0"
DRAWING F

A-1



REAR ELEVATION



LEFT SIDE ELEVATION

REVISIONS

BELLE INTERIORS, LLC
Elaine Bellefeuille
17 Derby Lane
Marwick, MA 02645
508-280-7031

PROJECT: **GOULD RESIDENCE**
67 LONG BEACH AVE, CENTERVILLE, MA
TITLE: PROPOSED ELEVATIONS

DATE: 07/17/22
SCALE: 1/8" = 1'-0"
DRAWING #

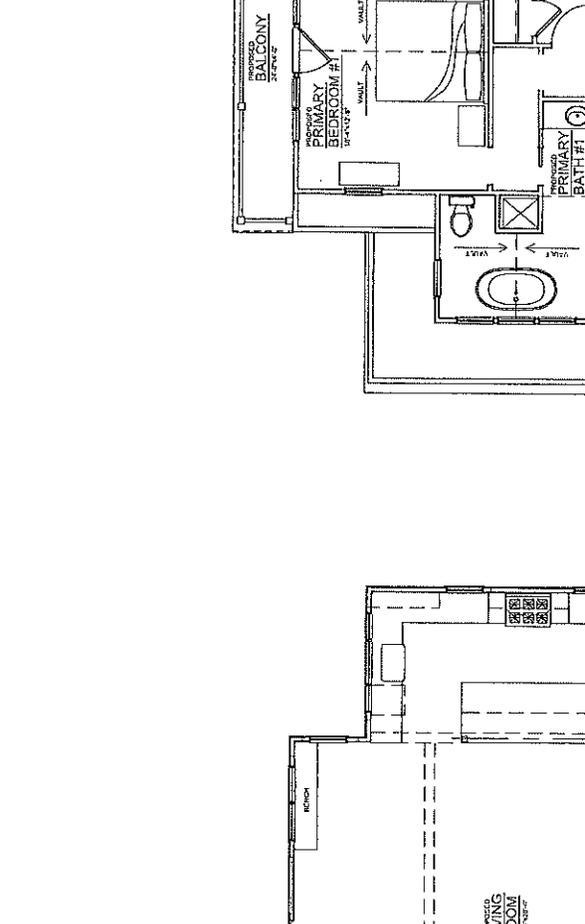
A-2

BELLE INTERIORS, LLC
 Elaine Bellefleur
 17 Drury Lane
 Haverhill, MA 02645
 508-200-7031

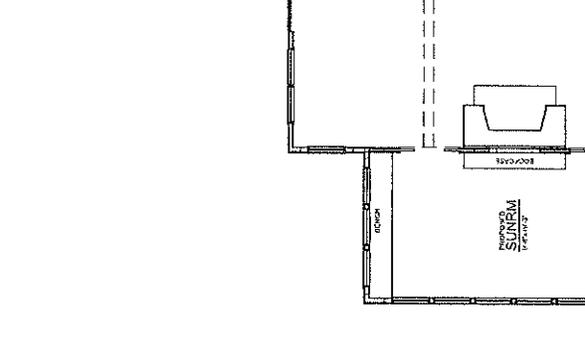
PROJECT: GOLD RESIDENCE
 67 LONG BEACH AVE, CENTERVILLE, MA
 TITLE: PROPOSED FLOOR PLANS
 DATE: 02/12/22
 SCALE: 1/8" = 1'-0"
 DRAWING #

REVISIONS

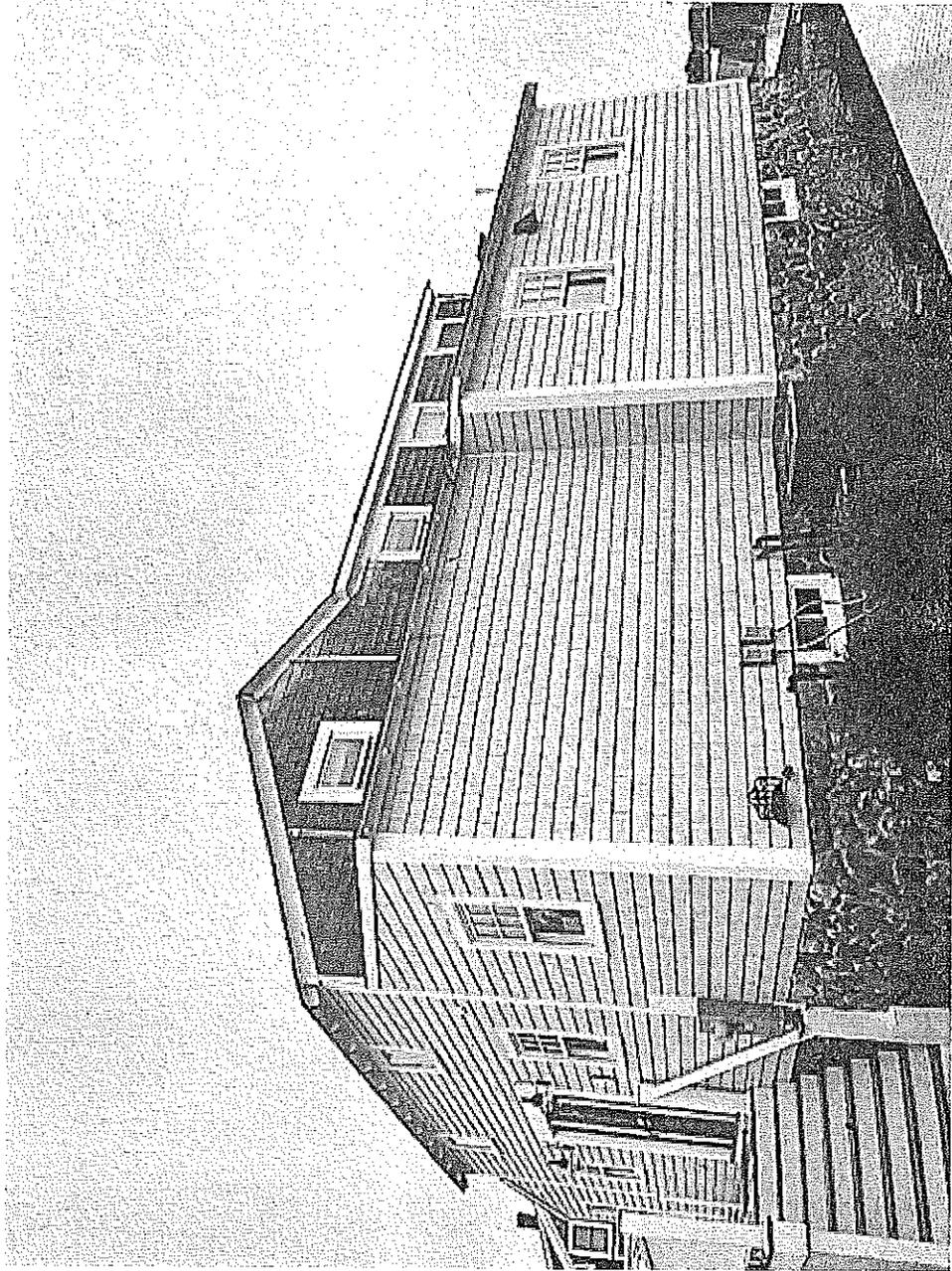
A-3

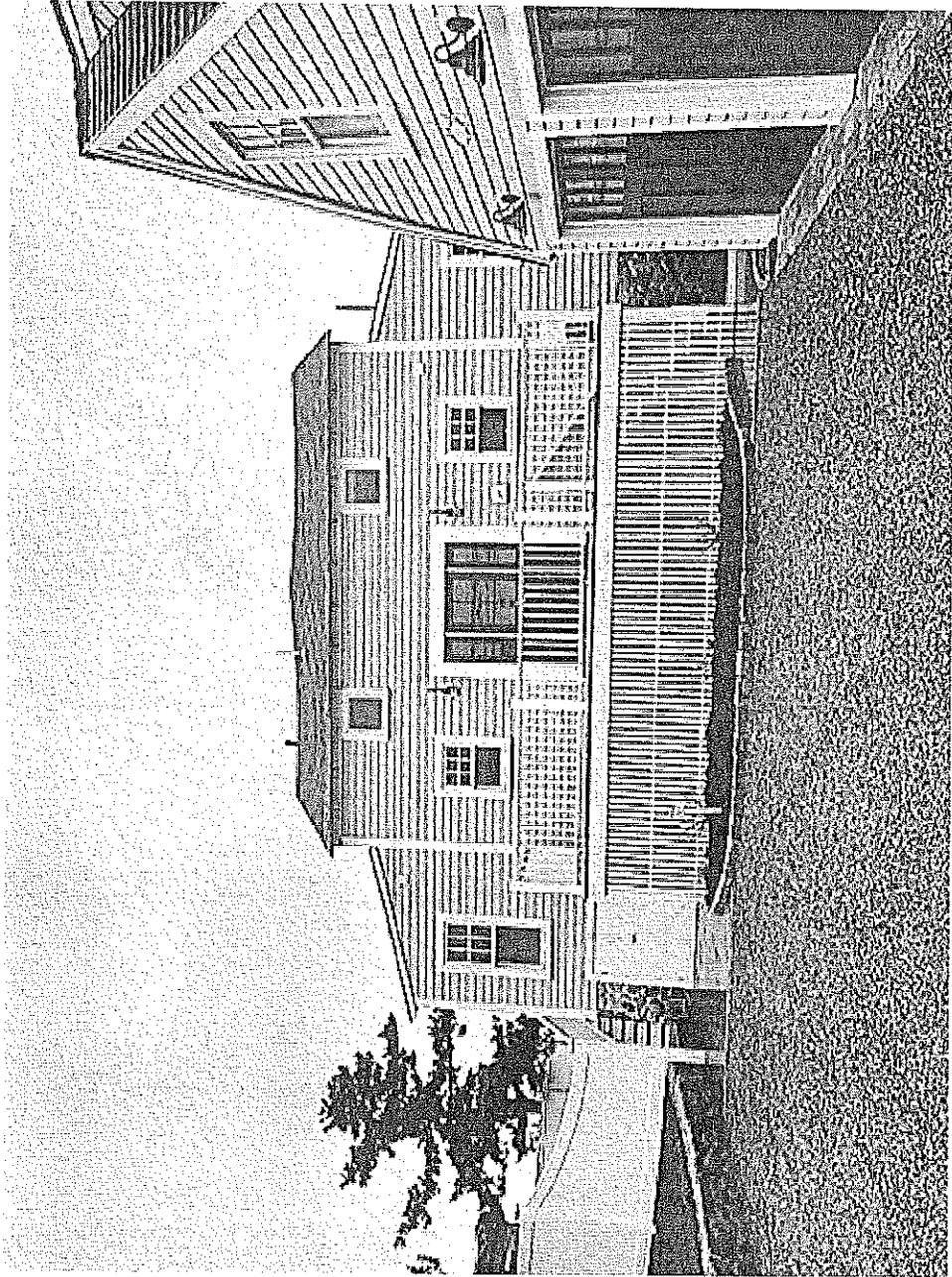


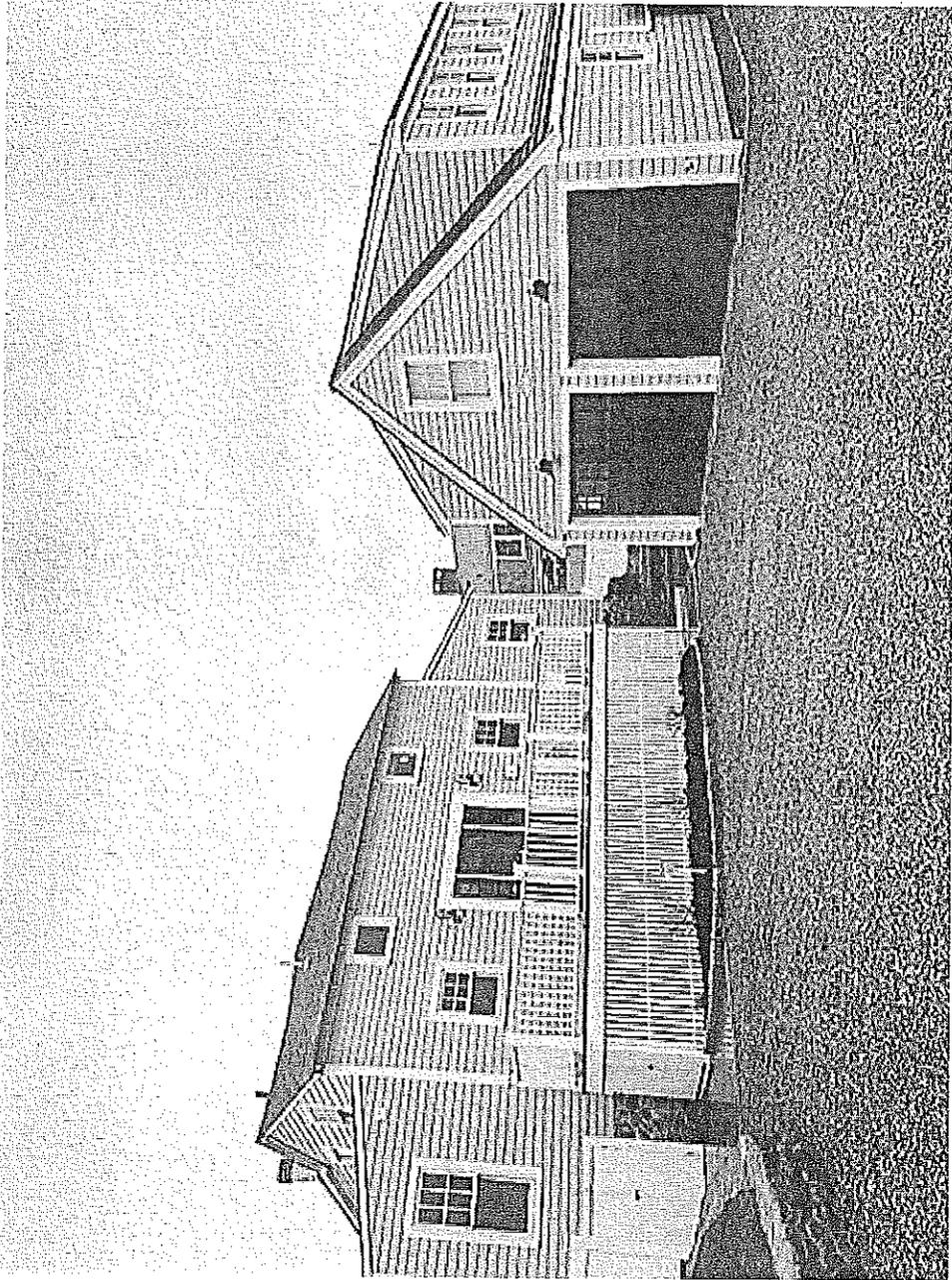
PROPOSED PHASE 1 (COMPLETE)
 FIRST FLOOR PLAN

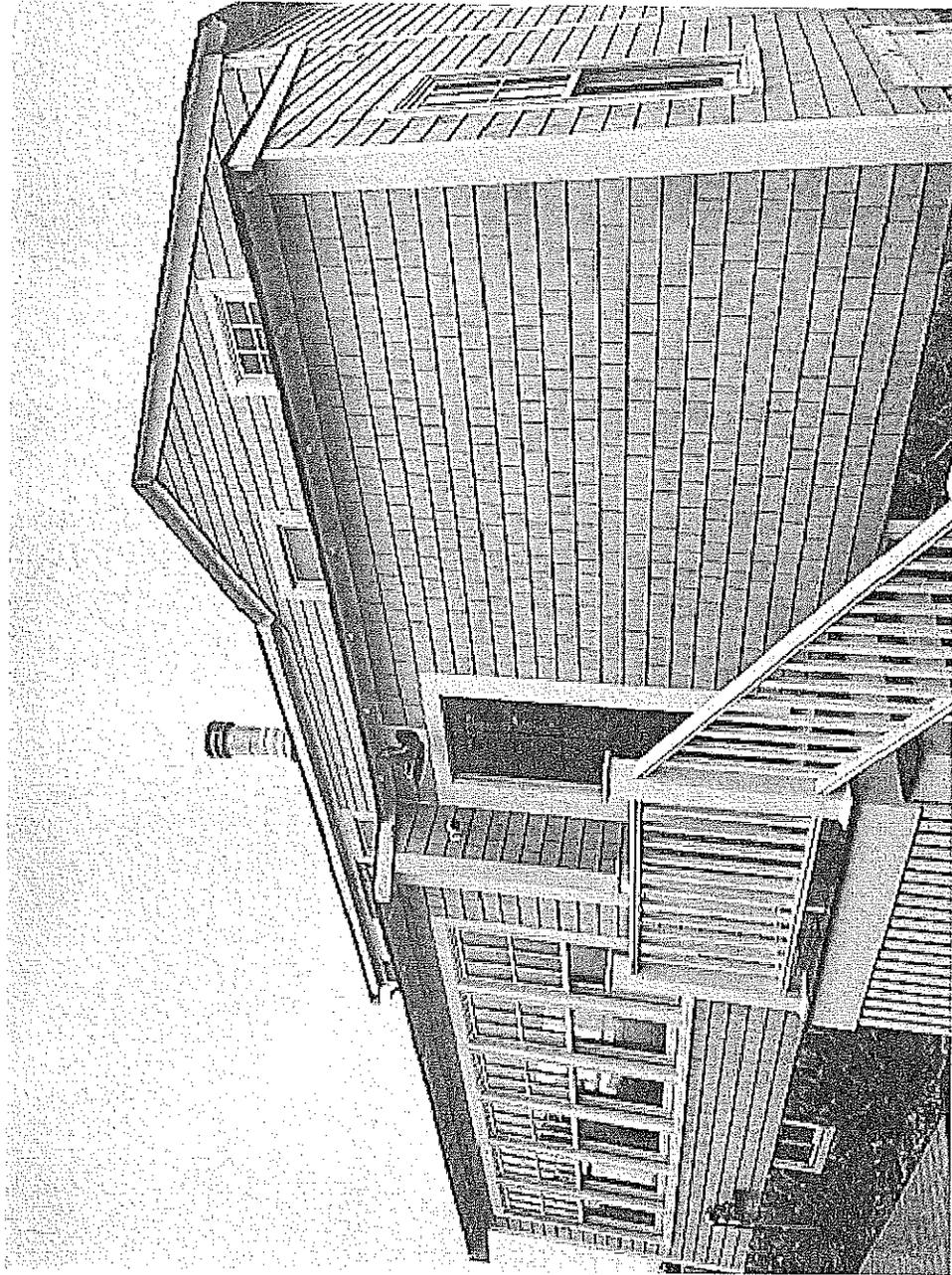


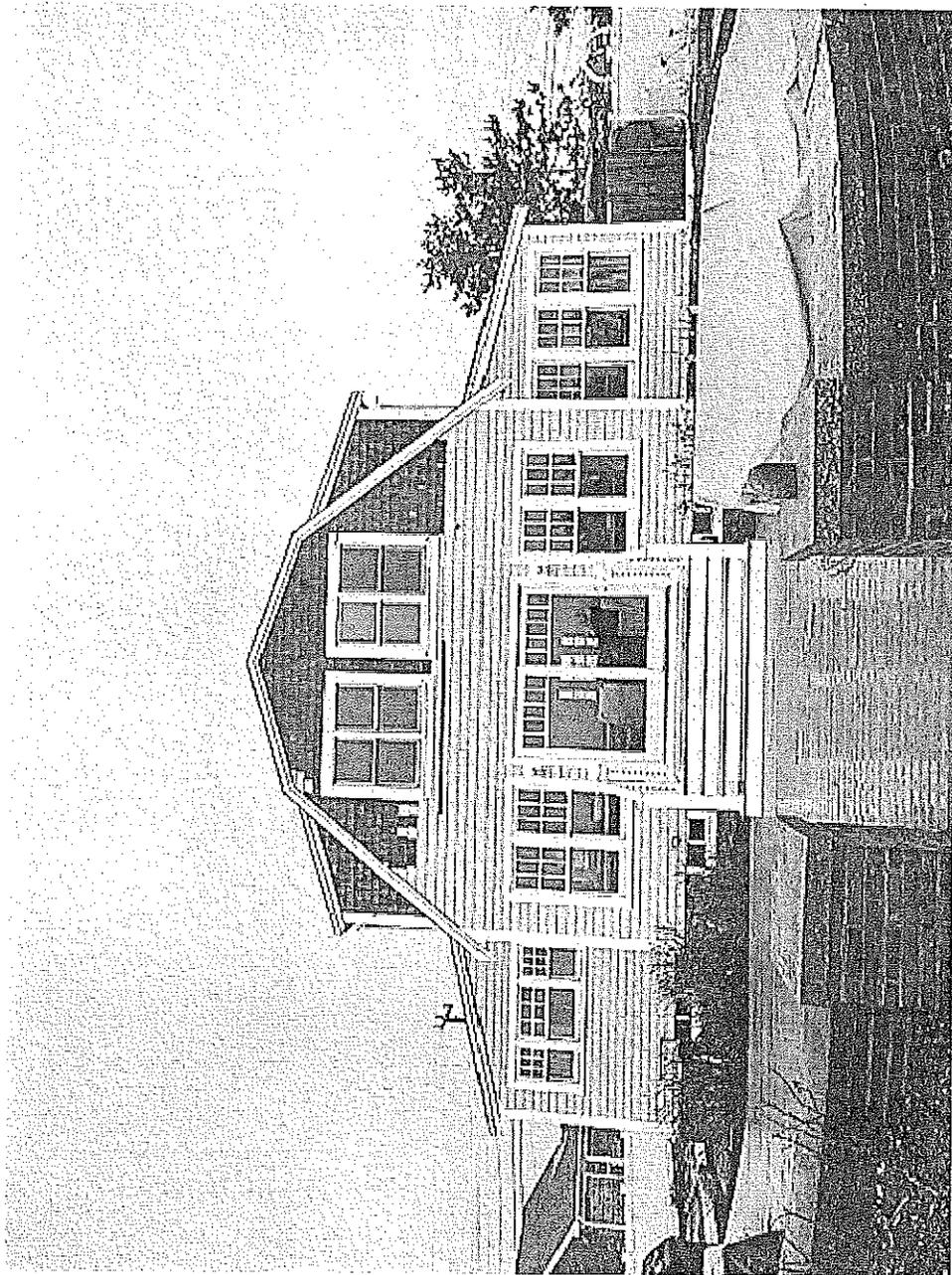
PROPOSED PHASE 2
 SECOND FLOOR PLAN











Property ID: 205016
MURPHY, JOAN E TR
MURPHY FAMILY REALTY TRUST
93 LONG BEACH ROAD
CENTERVILLE. MA 02632

Property ID: 205017
GAUTRAU, DOMINICK M & JUDITH F TRS
GAUTRAU - LONG BEACH REALTY TRST
103 LONG BCH RD
CENTERVILLE. MA 02632

Property ID: 206006
MONAHAN, SHARON O & CUSHING, CAROL
6 PICKWICK ROAD
MARBLEHEAD, MA 01945

Property ID: 206007
HUGHES, HELEN M
392 WOODLAND STREET
PO BOX 49
SOUTH GLASTONBURY, CT 06073

Property ID: 206008
DRISCOLL, JOAN M
75 LONG BEACH RD
CENTERVILLE, MA 02632

Property ID: 206009
CROTEAU, DANIEL C & KATHRYN F
22 JARVIS AVENUE
HINGHAM, MA 02043

Property ID: 206010
GOLDBERG, JONATHAN
73 WINDSOR ROAD
BROOKLINE, MA 02445

Property ID: 206011
DURANTE ENTERPRISES INC
440 SALISBURY STREET
HOLDEN, MA 01520

Property ID: 206012
BEACH CLUB OF CRAIGVILLE INC
P O BOX 297
CENTERVILLE, MA 02632

Property ID: 206016
BEACH CLUB OF CRAIGVILLE INC
P O BOX 297
CENTERVILLE, MA 02632

Property ID: 206017
WALKER, WALTER H III & ANNE M
604 SEMINARY DR
MILL VALLEY, CA 94941

Property ID: 206018
SPAGNUOLO, RICHARD F X ET UX
RICHARD FX SPAGNUOLO TRUSTS
230 POND STREET
JAMAICA PLAIN, MA 02130-2429

Property ID: 206019
GOULD, ROBERT
67 LONGBEACH RD
CENTERVILLE, MA 02632

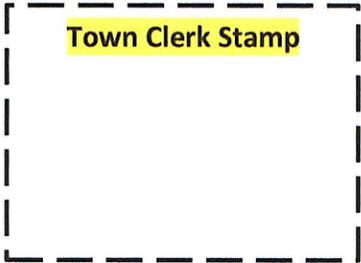
Property ID: 206020
DRISCOLL, JOHN H & JOAN M
C/O DRISCOLL, JOAN M
75 LONG BEACH RD
CENTERVILLE, MA 02632

Property ID: 206022
PREFONTAINE, MICHAEL P & NICOLE
8 STAGECOACH WAY
HOPKINTON, MA 01748



TOWN OF BARNSTABLE Planning & Development Department Barnstable Historical Commission

www.town.barnstable.ma.us/historicalcommission



NOTICE OF INTENT TO DEMOLISH A SIGNIFICANT BUILDING

Date of Application 2/28/2022 Full Demotion Partial Demolition

Building Address: 133 Gosnold
Number Street

Hyannis 02601 Assessor's Map # 324 Assessor's Parcel # 007
Village ZIP

Property Owner: William and Sherry Lawson (802) 398-7529
Name Phone#

Property Owner Mailing Address (if different than building address) _____

Property Owner e-mail address: wlawson4863@gmail.com

Contractor/Agent: Cape Built Construction

Contractor/Agent Mailing Address: 255 Main Street, Hyannis, MA 02601

Contractor/Agent Contact Name and Phone #: Sean T. Mulcahy (508) 904-7093
Name Phone #

Contractor/Agent Contact e-mail address: sean@capebuilt.com

Demolition Proposed - please itemize all changes:

Existing wood framed structure in its entirety will be demolished and removed including the brick foundation.

Type of New Construction Proposed: R-3/ 1 & 2 Family Residential (Pre-Engineered Modular Home)

Provide information below to assist the Commission in making the required determination regarding the status of the Building in accordance with Article 1, § 112

Year built: 1920 Additions Year Built: 1976, 1986

Is the Building listed on the National Register of Historic Places or is the building located in a National Register District?

No Yes

William and Sherry Lawson 2/28/2022
Property Owner/Agent Signature

Sean T. Mulcahy 2/28/2022



Camera O'Neill Consulting Engineers • 888.308.7541
201 Clocktower Square, Portsmouth, RI 02871
info@cameraoneill.com • www.cameraoneill.com

Sean T. Mulcahy
CapeBuilt Companies
Senior Estimator/Project Manager
255 Main Street
Hyannis, MA 02601
(508) 904-7093
sean@capebuilt.com

March 2, 2022

Field Report:

Existing single family house located at 133 Gosnold Street Hyannis, MA

Dear Mr. Mulcahy:

At your request, I visited the above-referenced address to observe the existing structural conditions of the existing house. The purpose of the visit was to help determine if it would be reasonable to consider demolishing the existing house given the extent of the desired modifications that are scheduled.

The existing building is a modestly-built 2-story, wood-framed house with a full basement. There is a covered, wood-framed front porch and a partially covered, wood-framed rear deck. The house is believed to be built ca. 1920. The exterior of the building is clad with cedar shingles and painted wood trim. The roofing materials appear to be asphalt shingles.

The first floor interior of the house is laid out with modest sized rooms and low floor to ceiling height (approx. 7'-6"). The stairwell leading to the second floor has a low head clearance issue that was noticeable while acing the second floor. The Second floor is also laid out with small rooms and an even lower ceiling height (approx. 7 feet).

At the basement level, I was able to observe the first floor framing system. The floor is currently framed with 2x8 wood floor joists spaced at over 24" on centers. These floor joists span from exterior masonry walls to an interior line of modestly sized wood timber beam. The basement floor to ceiling height was well below 7 feet. The perimeter basement walls were comprised of a mix of fieldstone, brick, and concrete block.

I am led to believe this house is slated for a full interior and exterior upgrade that include taller floor to ceiling heights in the basement and first floor levels, elimination of the second floor, new plumbing, heating, air conditioning, electrical, and all other utilities. It is desired that this home be upgraded to meet current structural codes for gravity loads as well as wind loads. I have also been made aware that a modern, open floorplan with new windows and doors is also desired.

In addition to re-building and replacing almost everything in this home, a new garage is desired. Adding a new garage will require the house be moved to a different location in order to properly fit on the lot.

In my opinion, to achieve the desired modifications to this building, it makes sense to demolish the existing structure and build a new, modern, code-compliant home and garage.

Please feel free to contact me should you need any further clarification.

Sincerely,

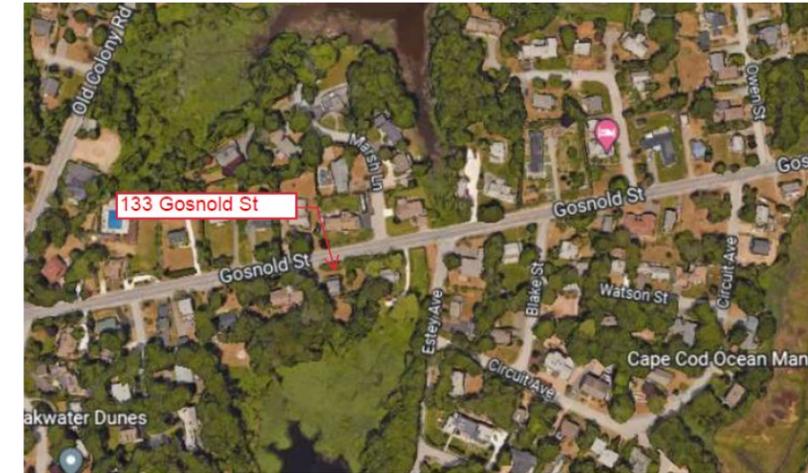
A handwritten signature in blue ink, appearing to read "MVC", is written over a light blue rectangular background.

Michael V. Camera P.E.
Camera – O'Neill Consulting Engineers, Inc.





Lawson Project
133 Gosnold Street
Hyannis, MA 02601

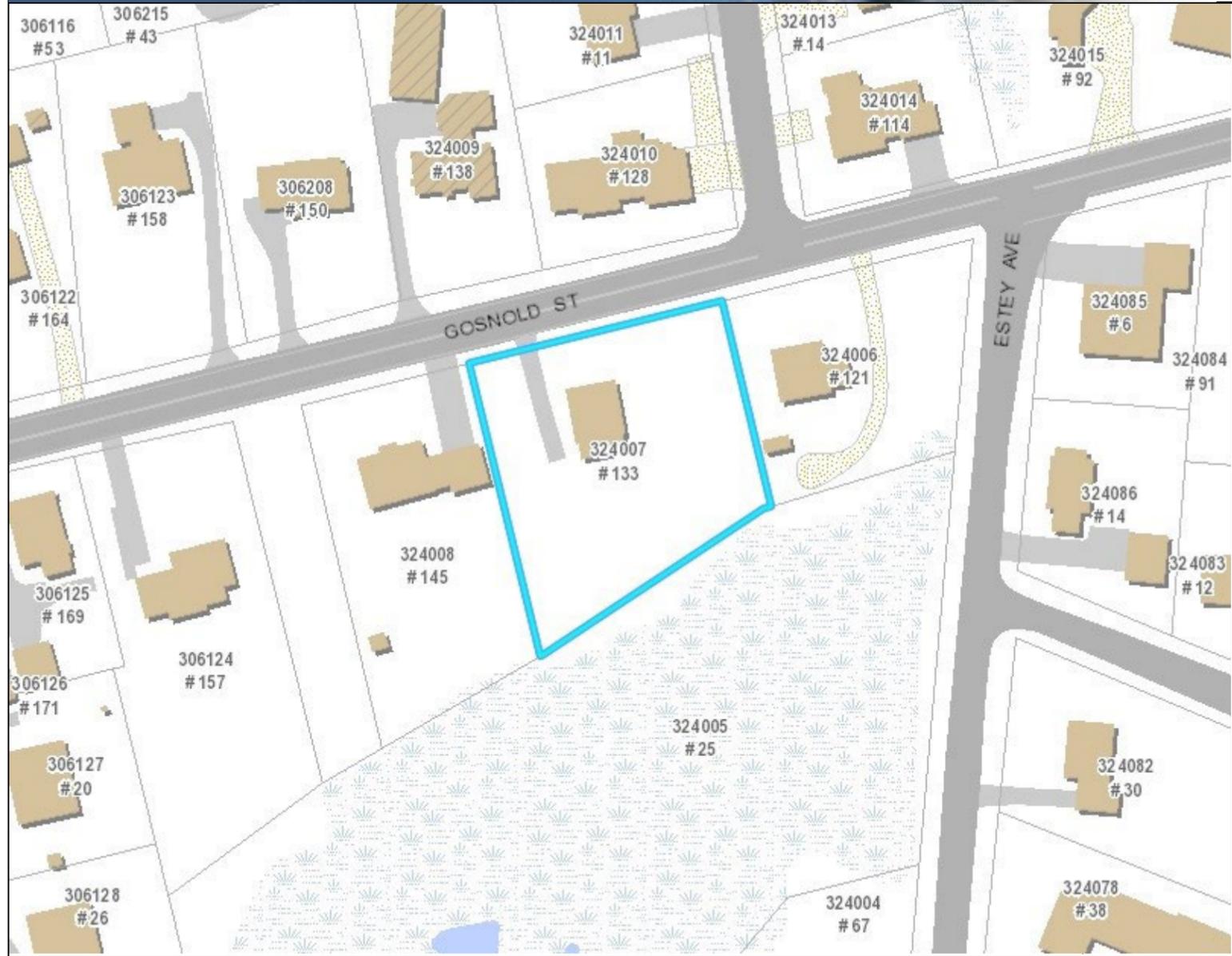


Historical Commission Meeting
March 15, 2022

Submitted By:
CapeBuilt Construction
255 Main Street
Hyannis, MA 02601



TOWN OF BARNSTABLE PROPERTY MAPS



Legend

- Parcels
- Town Boundary
- Railroad Tracks
- Buildings
- Approx. Building
- Buildings
- Painted Lines
- Parking Lots
- Paved
- Unpaved Driveways
- Paved
- Unpaved Roads
- Paved Road
- Unpaved Road
- ▨ Bridge
- Paved Median
- Streams
- ▨ Marsh
- Water Bodies

Map printed on: 2/28/2022



Approx. Scale: 1 inch = 83 feet



This map is for illustration purposes only. It is not graphic adequate for legal boundary determination or are regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not objects on the map reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only representations of Assessor's tax parcels. They not true property boundaries and do not accurate relationships to physical such as building locations.



Town of Barnstable GIS Unit
 367 Main Street, Hyannis, MA 02601
 508-862-4624
gis@town.barnstable.ma.us

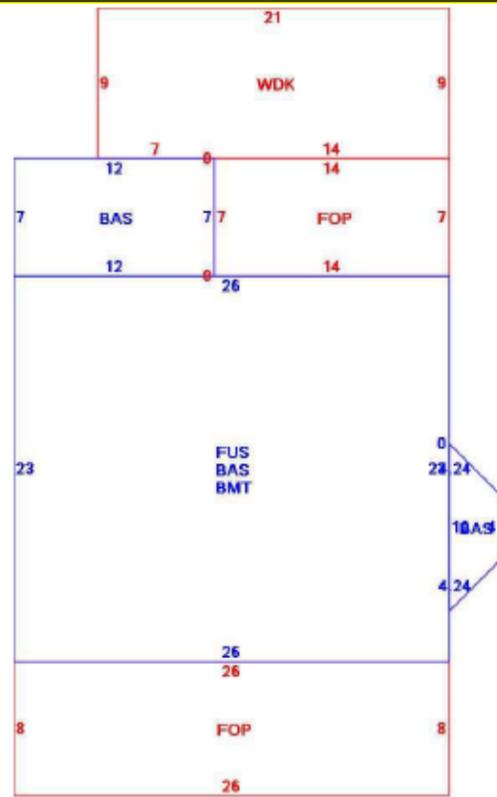
Property Location 133 GOSNOLD STREET Map ID 324/007111 Bldg Name State Use 1010
 Vision ID 26699 Account # Bldg # 1 Sec # 1 of 1 Card # 1 of 1 Print Date 11/14/2021 3:31:31 P

CURRENT OWNER		TOPO	UTILITIES	STRT / ROAD	LOCATION	CURRENT ASSESSMENT				801 FY2022 BARNSTABLE, MA							
LAWSON, WILLIAM D & SHERRY A		1 Level	1 All Public	1 Paved		Description	Code	Assessed	Assessed								
133 GOSNOLD ST						RESIDENTL	1010	215,900	215,900	VISION							
HYANNIS MA 02601						RES LAND	1010	137,000	137,000								
		SUPPLEMENTAL DATA						Total	352,900	352,900							
		Alt Prcl ID Split Zonin BID Parcel ResExpt Q #DL 1 LOTS 27, 28 & 29 #DL 2 GIS ID F_988431_2695981				Plan Ref. 212/238-240 Land Ct# #SR Life Estate PP Acct Assoc Pid#											
RECORD OF OWNERSHIP		BK-VOL/PAGE	SALE DATE	Q/U	V/I	SALE PRIC	VC	PREVIOUS ASSESSMENTS (HISTORY)									
LAWSON, WILLIAM D & SHERRY A		10221 0340	05-28-1996	U	I	1	1F	Year	Code	Assessed	Year	Code	Assessed V	Year	Code	Assessed	
LAWSON, WILLIAM D		1810 0001	02-22-1973	U	V	0		2021	1010	177,800	2020	1010	159,100	2019	1010	140,900	
									1010	139,100		1010	139,100		1010	147,500	
									1010	1,600		1010	1,400		1010	1,500	
								Total	318,500	Total	299,600	Total	289,900				
EXEMPTIONS				OTHER ASSESSMENTS				This signature acknowledges a visit by a Data Collector or Assessor									
Year	Code	Description	Amount	Code	Description	Number	Amount	Comm Int									
			Total	0.00													
ASSESSING NEIGHBORHOOD								APPRAISED VALUE SUMMARY									
Nbhd	Nbhd Name	B	Tracing	Batch													
0107				HYAN	Appraised Bldg. Value (Card)			192,800									
					Appraised Xf (B) Value (Bldg)			21,500									
					Appraised Ob (B) Value (Bldg)			1,600									
					Appraised Land Value (Bldg)			137,000									
					Special Land Value			0									
					Total Appraised Parcel Value			352,900									
					Valuation Method			C									
					Total Appraised Parcel Value			352,900									
BUILDING PERMIT RECORD								VISIT / CHANGE HISTORY									
Permit Id	Issue Date	Type	Description	Amount	Insp Date	% Comp	Date Comp	Comments	Date	Id	Type	Is	Cd	Purpost/Result			
								05-19-2021	BM	22		22	Change of Address				
								05-11-2020	WD			FR	Field Review				
								09-07-2017	SR	02		03	Cycl Insp Comp				
								03-26-2002	PT	01		00	Meas/Listed-Interior Acces				
LAND LINE VALUATION SECTION																	
B	Use Code	Description	Zone	LA	Land Type	Land Units	Unit Price	Size Adj	Site Index	Cond.	Nbhd.	Nbhd. Adj	Notes	Location Adjustmen	Adj Unit P	Land Value	
1	1010	Single Fam M-0	RB	4		0.480 AC	118,750	1.84893	5	1.00	0107	1.300		1.0000	285,427.5	137,000	
						Total Card Land Units	0.48 AC	Parcel Total Land Area				0.48				Total Land Value	137,000

CONSTRUCTION DETAIL			CONSTRUCTION DETAIL (CONTINUED)		
Element	Cd	Description	Element	Cd	Description
Style	06	Conventional			
Model	01	Residential			
Grade:	C+	Average Plus			
Stories	2	2 Stories			
Exterior Wall 1	14	Wood Shingle			
Exterior Wall 2					
Roof Structure	03	Gable/Hip			
Roof Cover	03	Asph/F Gls/Cmp			
Interior Wall 1	03	Plastered			
Interior Wall 2					
Interior Floor 1	09	Pine/Soft Wood			
Interior Floor 2					
Heat Fuel	03	Gas			
Heat Type	05	Hot Water			
AC Type	01	None			
Bedrooms	02	2 Bedrooms			
Full Baths	1				
Half Baths	1				
Extra Fixtures					
Total Rooms	6	6 Rooms			
Bath Style					
Kitchen Style					
Occupancy					
Accessory Apt					
Foundation	02	Conc. Block			
Rms Prts					
Bath Split	11	1 Full-1 Half			

CONDO DATA				
Parcel Id		C	Owne	0.0
Adjust Type	Code	Description	Factor%	
Condo Flr				
Condo Unit				

COST / MARKET VALUATION	
Building Value New	279,437
Year Built	1920
Effective Year Built	1979
Depreciation Code	A
Remodel Rating	
Year Remodeled	
Depreciation %	31
Functional Obsol	0
External Obsol	0
Trend Factor	1
Condition	
Condition %	
Percent Good	69
RCNLD	192,800
Dep % Ovr	
Dep Ovr Comment	
Misc Imp Ovr	
Misc Imp Ovr Comment	
Cost to Cure Ovr	
Cost to Cure Ovr Comment	



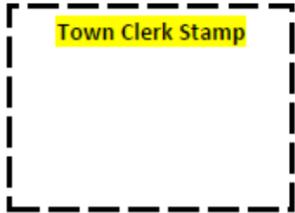
OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B)										
Code	Description	L/B	Units	Unit Price	Yr Blt	Cond. Cd	% Gd	Grade	Grade Adj.	Appr. Value
WDC	Wood Decking	L	189	20.00	1986		34		0.00	1,600
FOP	Open Porch-ro	B	306	55.00	1979		69		0.00	8,300
BMT	Basement-Unfi	B	598	26.01	1979		69		0.00	13,200

BUILDING SUB-AREA SUMMARY SECTION						
Code	Description	Living Area	Floor Area	Eff Area	Unit Cost	Undeprec Value
BAS	First Floor	703	703	703	214.79	150,995
BMT	Basement Area	0	598	0	0.00	0
FOP	Open Porch	0	306	0	0.00	0
FUS	Upper Story	598	598	598	214.79	128,442
WDK	Wood Deck	0	189	0	0.00	0
Ttl Gross Liv / Lease Area		1,301	2,394	1,301		279,437





TOWN OF BARNSTABLE Planning & Development Department Barnstable Historical Commission
www.town.barnstable.ma.us/historicalcommission



NOTICE OF INTENT TO DEMOLISH A SIGNIFICANT BUILDING

Date of Application 2/28/2022 Full Demotion Partial Demolition

Building Address: 133 Gosnold
Number Street

Hyannis 02601 Assessor's Map # 324 Assessor's Parcel # 007
Village ZIP

Property Owner: William and Sherry Lawson (802) 398-7529
Name Phone#

Property Owner Mailing Address (if different than building address) _____

Property Owner e-mail address: wlawson4863@gmail.com

Contractor/Agent: Cape Built Construction

Contractor/Agent Mailing Address: 255 Main Street, Hyannis, MA 02601

Contractor/Agent Contact Name and Phone #: Sean T. Mulcahy (508) 904-7093
Name Phone #

Contractor/Agent Contact e-mail address: sean@capebuilt.com

Demolition Proposed - please itemize all changes:

Existing wood framed structure in its entirety will be demolished and removed including the brick foundation.

Type of New Construction Proposed: R-3/ 1 & 2 Family Residential (Pre-Engineered Modular Home)

Provide information below to assist the Commission in making the required determination regarding the status of the Building in accordance with Article 1, § 112

Year built: 1920 Additions Year Built: 1976, 1986

Is the Building listed on the National Register of Historic Places or is the building located in a National Register District?
 No Yes

Property Owner/Agent Signature _____

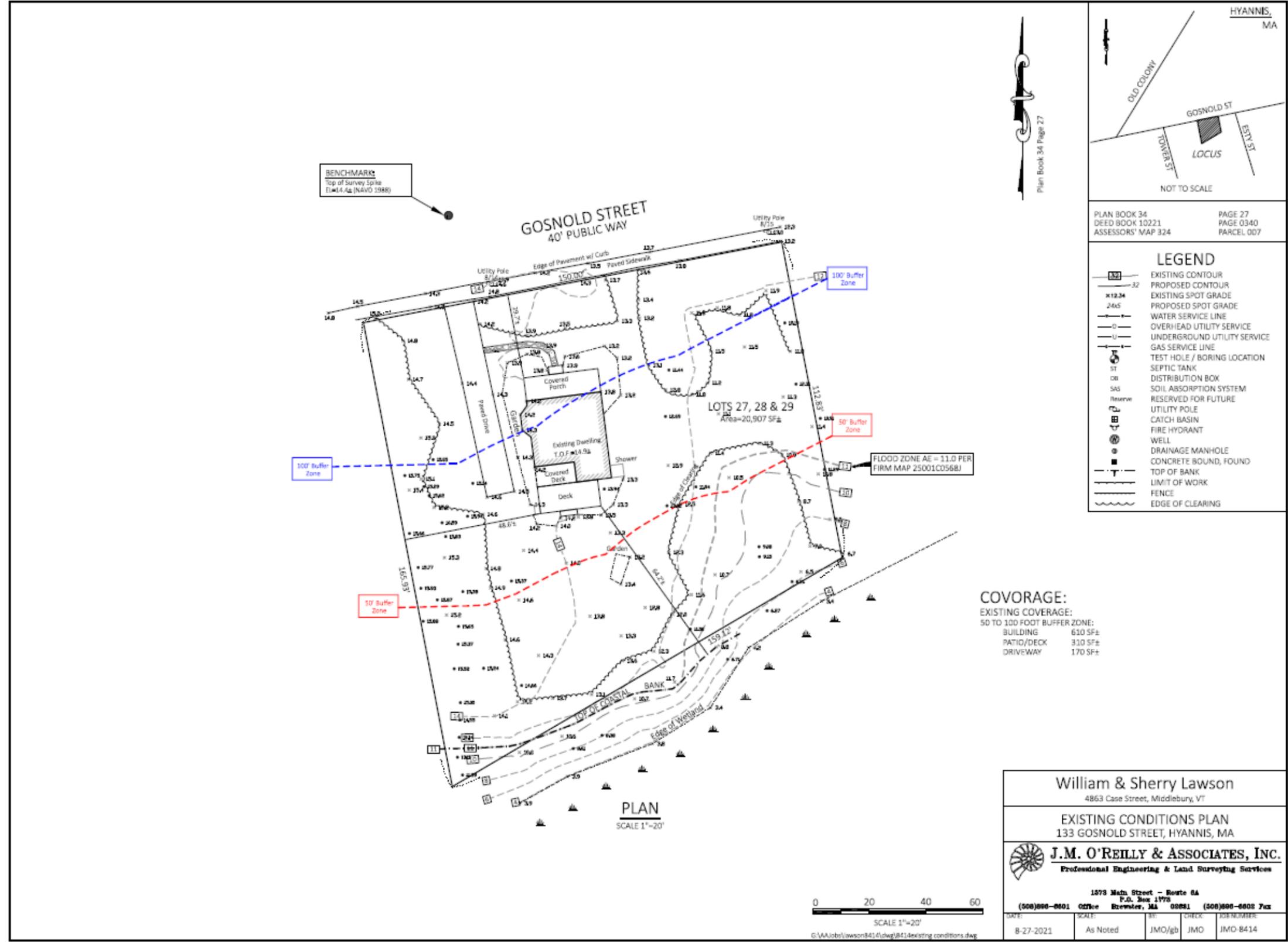
Sean T. Mulcahy

BHC NOID 2018.doc

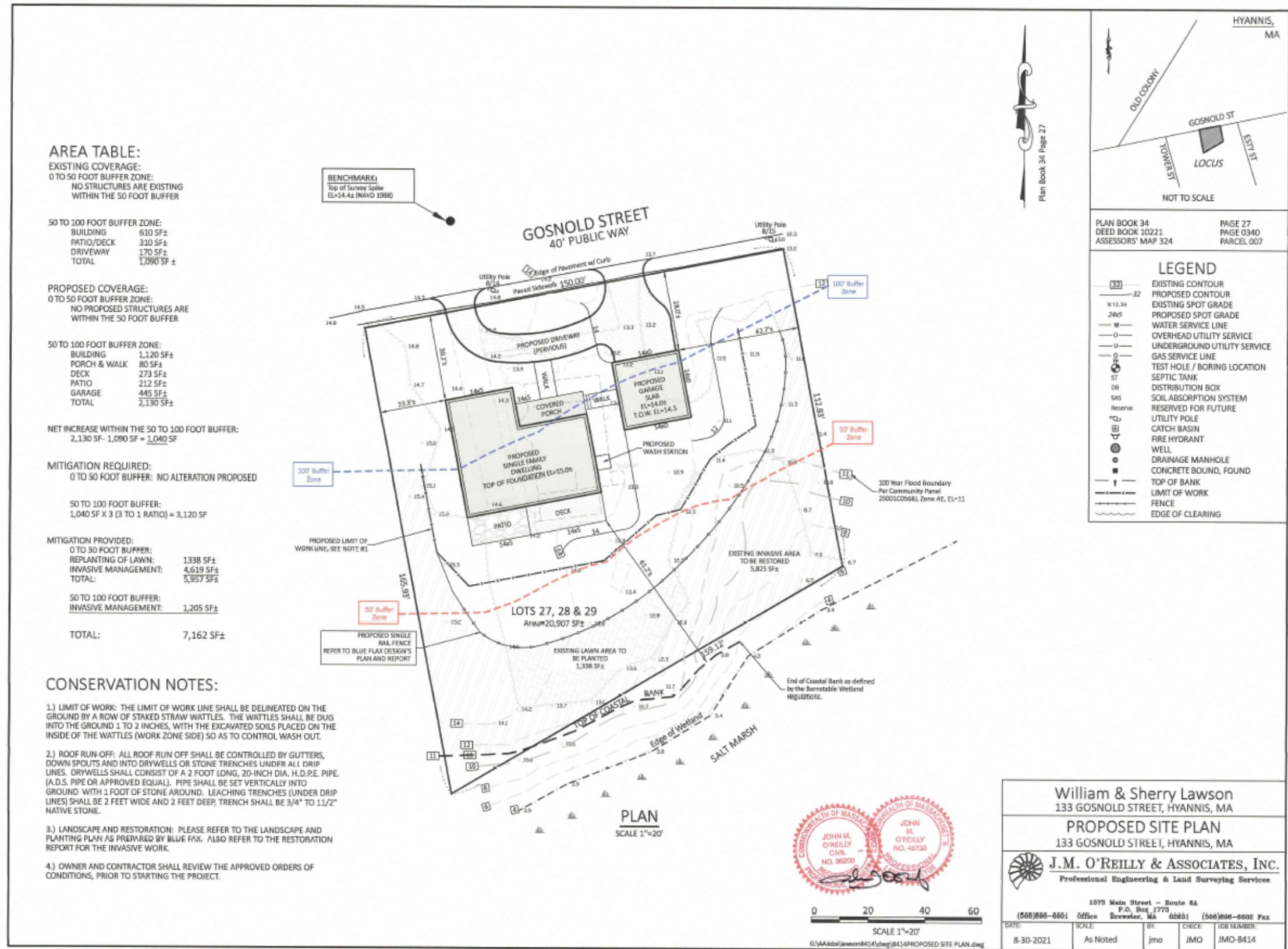


**133 Gosnold Street
 Hyannis, MA 02600**

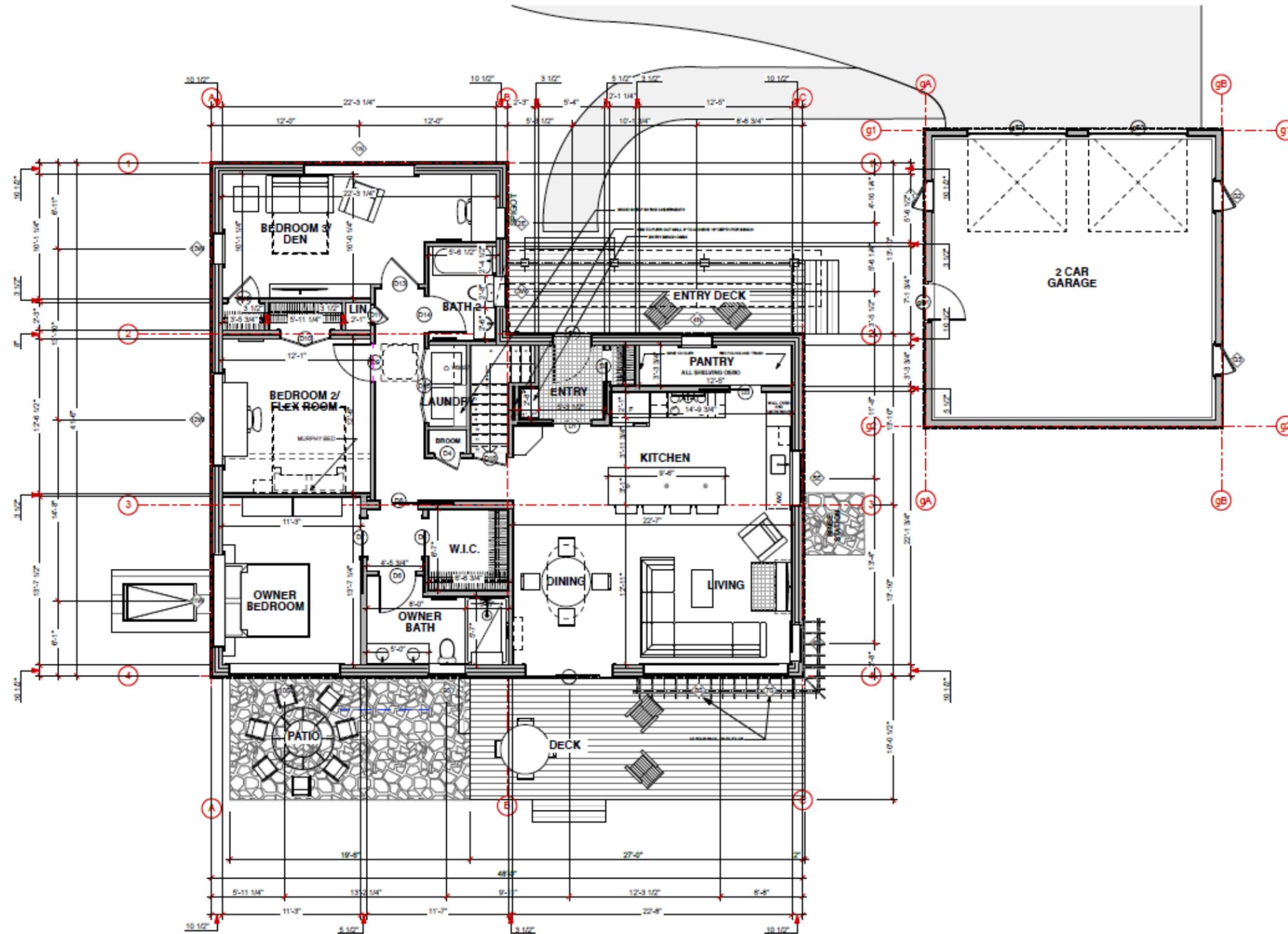
Existing Conditions Plan



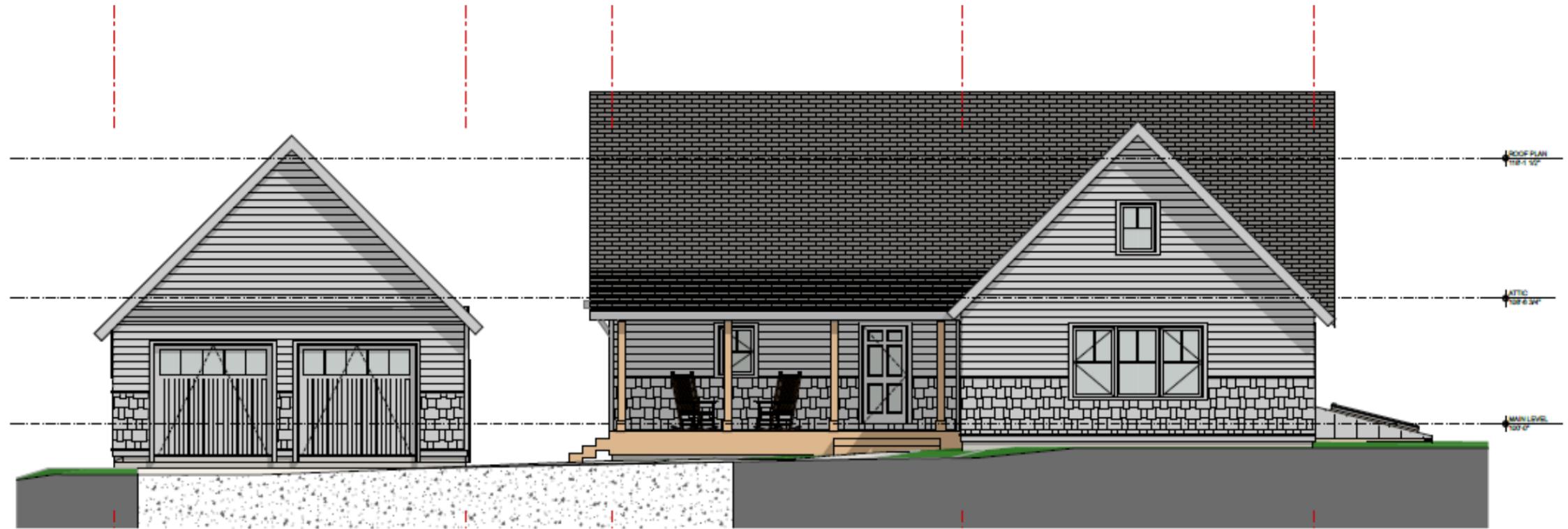
Proposed Plan



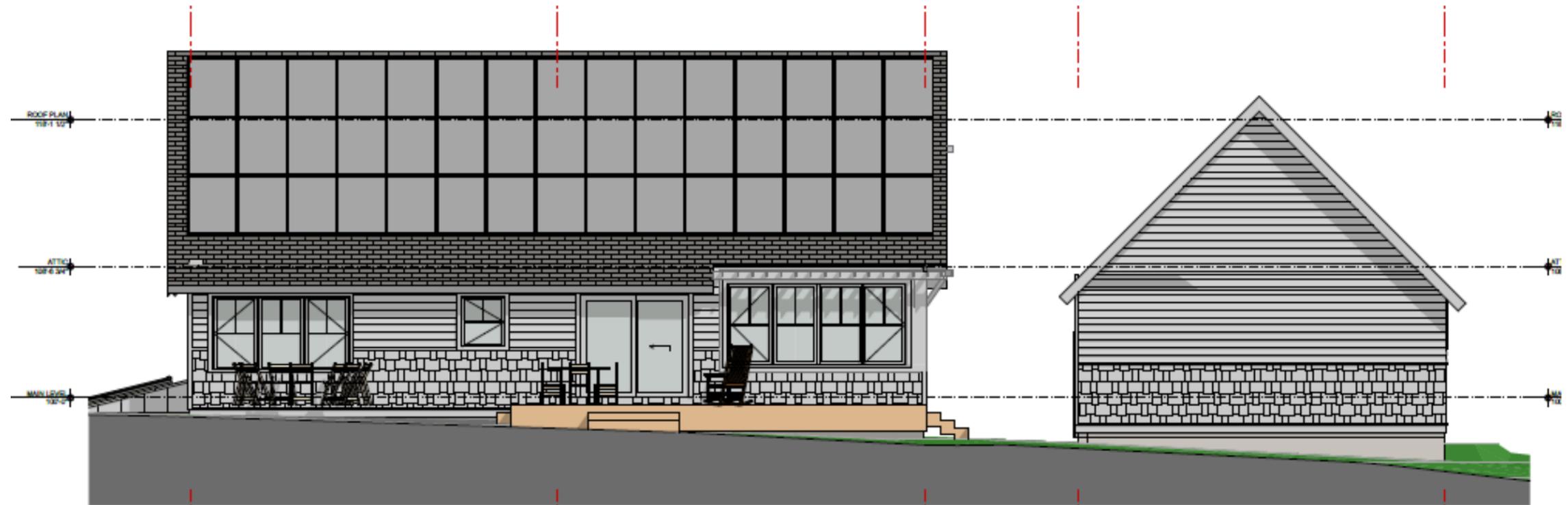
First Floor Plan



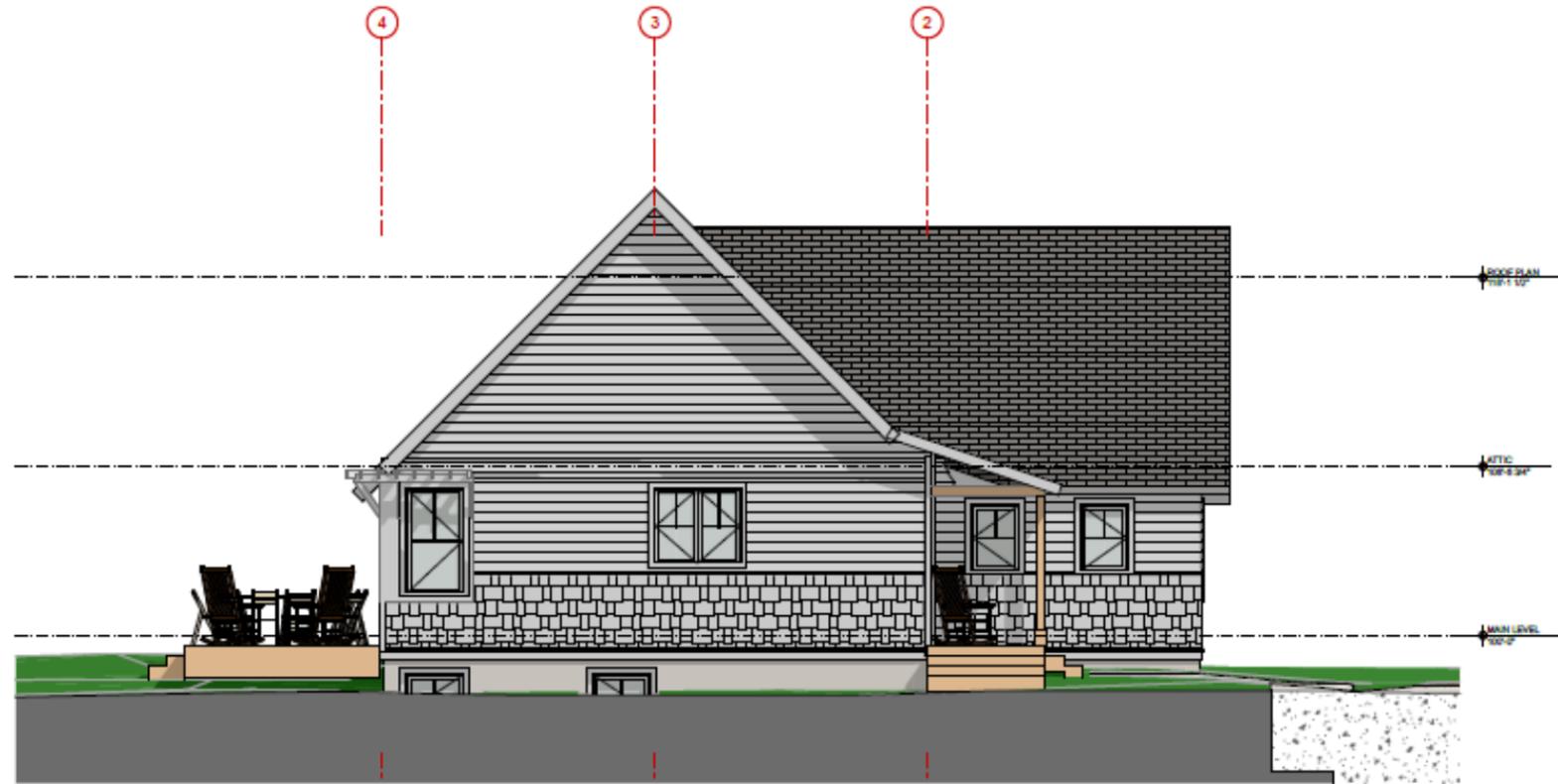
North Elevation



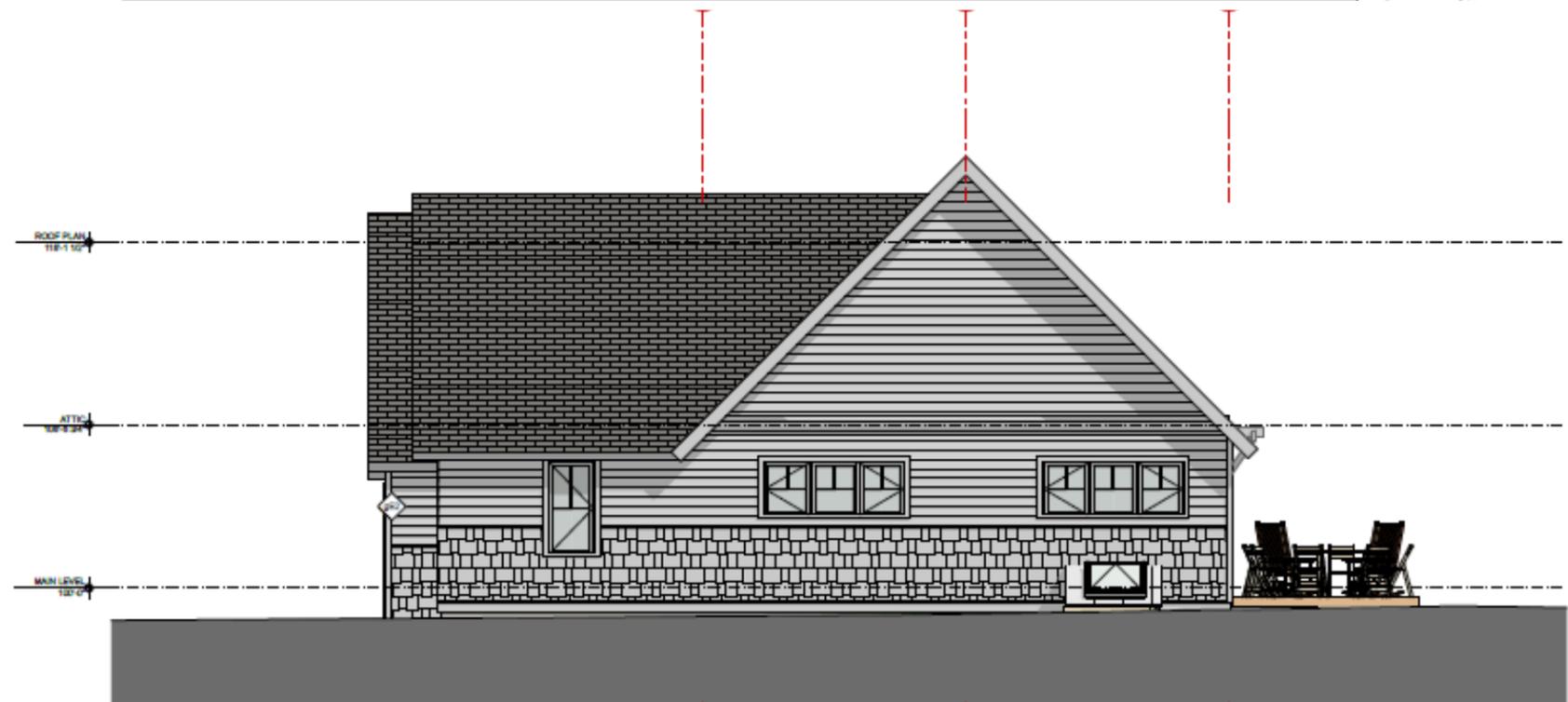
South Elevation



East Elevation



West Elevation







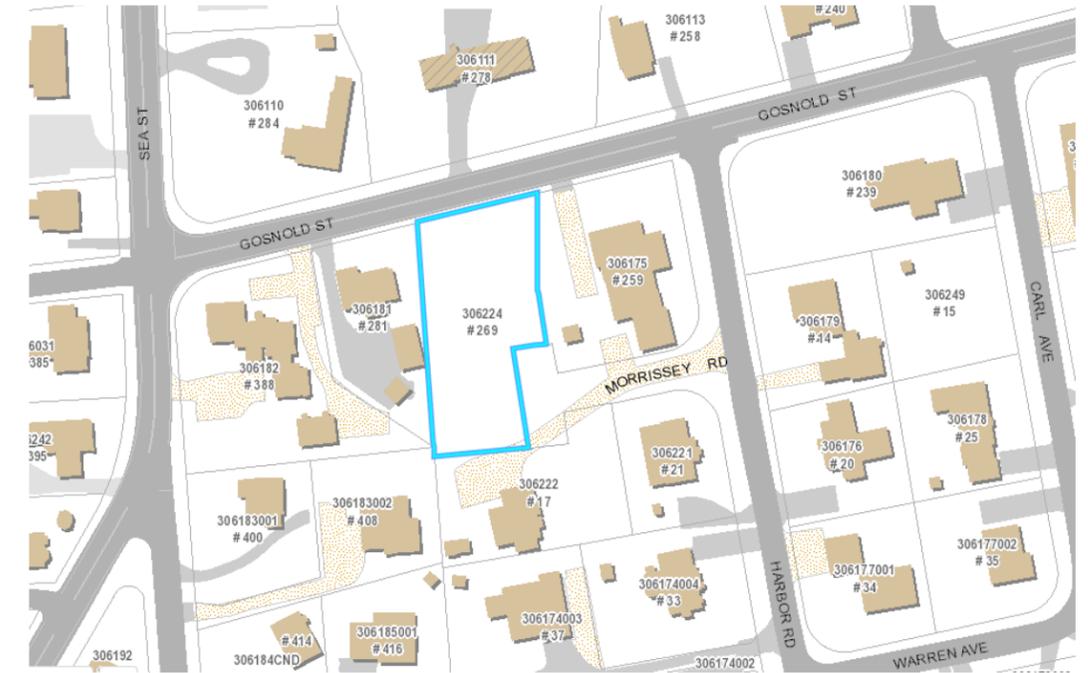


**Neighbors to East
145 Gosnold Street
Hyannis, MA 02601**



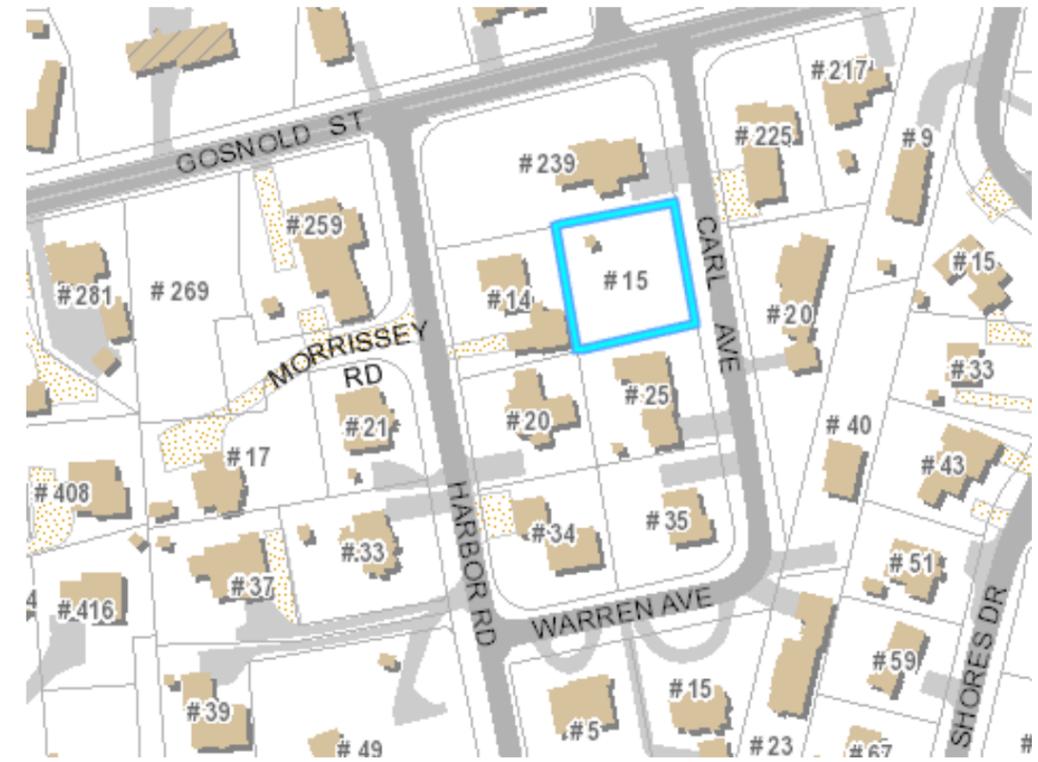
**Neighbors to West
145 Gosnold Street
Hyannis, MA 02601**

Neighborhood Projects Under Construction



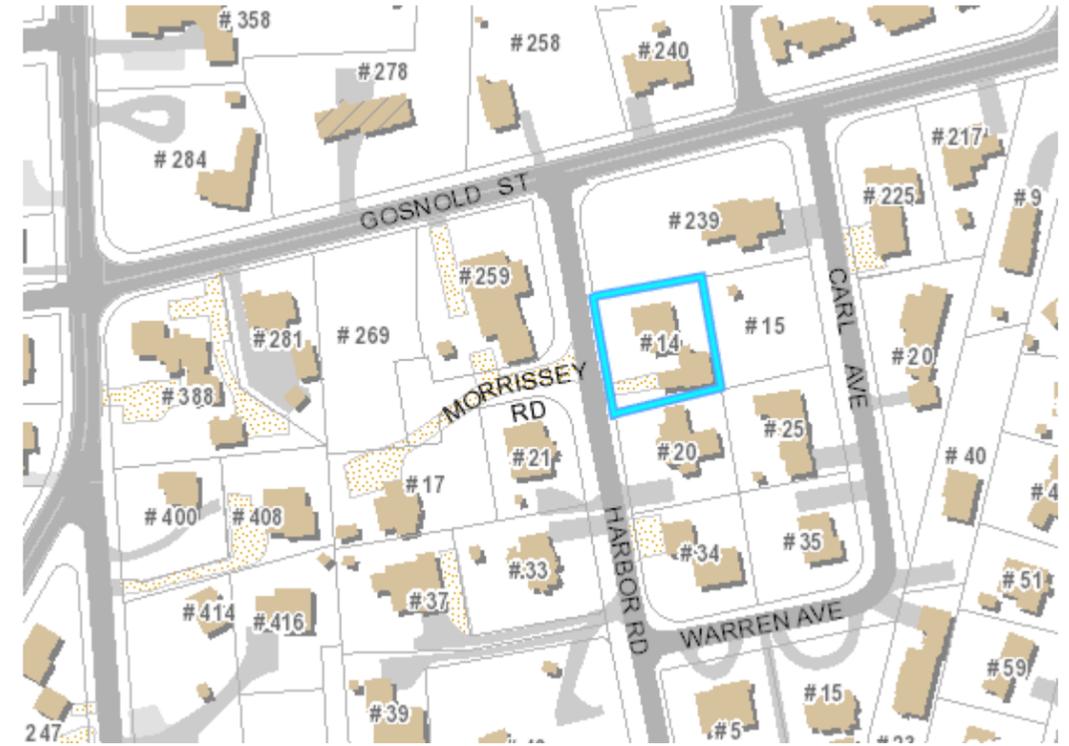
**269 Gosnold Street
Hyannis, MA 02601**

Neighborhood Projects Under Construction



**15 Carl Avenue
Hyannis, MA 02601**

Neighborhood Projects Under Construction



**14 Harbor
Hyannis, MA 02601**



Exterior Photos
133 Gosnold Street





Exterior Photos
133 Gosnold Street



Exterior Photos
133 Gosnold Street



**Interior Photos
133 Gosnold Street**



Interior Photos
133 Gosnold Street



**Interior Photos
133 Gosnold Street**



**Lower Level Photos
133 Gosnold Street**



**Lower Level Photos
133 Gosnold Street**



Structural Engineering Report

(To Follow)

Property ID: 306116
MOSCATO. ROBERT A & VERRILL. CYNTHIA
43 MARSH LANE
HYANNIS. MA 02601

Property ID: 306122
RANDAZZO. RONALD W
PO BOX 250
PELHAM. NH 03076

Property ID: 306123
CARREIRO. JOAN K
158 GOSNOLD STREET
HYANNIS. MA 02601

Property ID: 306124
DEAL. CHRISTOPHER J & JENNIFER. A
56 SEA ISLAND DRIVE
GEORGETOWN. SC 29440

Property ID: 306125
HOLMES. HOWARD J
172 HEALEY TERRACE
BROCKTON. MA 02301

Property ID: 306126
GULACHENSKI. DOROTHY K
171 GOSNOLD STREET
HYANNIS. MA 02601

Property ID: 306127
PALNICK. DAVID A & SOFALVI. IRENE M
20 CUMNER STREET
HYANNIS. MA 02601

Property ID: 306128
MCLAUGHLIN. CHARLES G & ROSEMARY G
14 ALBERT PLACE
NEW ROCHELLE. NY 10801

Property ID: 306129
ATSALIS. CONSTANTINE R TR
66 BARNSTABLE RD REALTY TRUST
46 CUMNER ST
HYANNIS. MA 02601

Property ID: 306208
MULCAHY. KEVIN L & DEBORAH E TRS
MULCAHY FAMILY TRUST
150 GOSNOLD STREET
HYANNIS. MA 02601

Property ID: 306215
MOSCATO. ROBERT A & VERRILL. CYNTHIA
43 MARSH LANE
HYANNIS. MA 02601

Property ID: 324004
LEWIN. JOEL & SUSAN
529 BOYLSTON STREET
BROOKLINE. MA 02445

Property ID: 324005
BARNSTABLE LAND TRUST INC
1540 MAIN STREET
WEST BARNSTABLE. MA 02668

Property ID: 324006
RAYMENT. LAWRENCE L JR & SHARON E
121 GOSNOLD ST
HYANNIS. MA 02601

Property ID: 324007
LAWSON. WILLIAM D & SHERRY A
133 GOSNOLD ST
HYANNIS. MA 02601

Property ID: 324008
TYAGI. ANJALI A & SATISH K & NATASHA A
516 COMMONWEALTH AVENUE
NEWTON. MA 02459

Property ID: 324009
HULTEEN. LINDA S & KURT R
138 GOSNOLD STREET
HYANNIS. MA 02601

Property ID: 324010
SEMINARA. JOSEPH & PAULA
128 GOSNOLD ST
HYANNIS. MA 02601

Property ID: 324011
GUEST. ROBERT & DENISE
65 SANDERSON AVE
WEYMOUTH. MA 02189

Property ID: 324012
MAGID. MARINA
319 FANEUIL STREET
BRIGHTON. MA 02135

Property ID: 324013
DAVIS. LYDIA J TR
LYDIA DAVIS TRUST
14 MARSH LANE
HYANNIS. MA 02601

Property ID: 324014
ARREBOLA. ANA SOLER & HUREZ-MARTIN.
114 GOSNOLD ST
HYANNIS. MA 02601

Property ID: 324015
PAICOPOULOS. GEORGE J & MARIA I V
92 GOSNOLD ST
HYANNIS. MA 02601

Property ID: 324078
CATALANO. THOMAS P & CAROL A TRS
T P C & C R C 2016 REV TRUSTS
45 WEST 3RD STREET APT 516
BOSTON. MA 02127

Property ID: 324082
LABELL. WALTER
339 GIFFORD STREET
FALMOUTH. MA 02536

Property ID: 324083
FONTAINE. PETER G
17 GROSVENOR ROAD
NEEDHAM. MA 02492-4416

Property ID: 324084
PERRY. HEATHER E TR
HEATHER E PERRY REV LIVING TR
214 BUENA VISTA DRIVE NORTH
DUNEDIN. FL 34698

Property ID: 324085
SADY. BRIAN & JAE YOUNG TRS
THE J & B LIVING TRUST
3013 SAVELLA AVENUE
LAS VEGAS. NV 89044

Property ID: 324086
GRIFFIN. PHILIP D & EILEEN
238 MAPLE AVE
SWANSEA. MA 02777

Property ID: 324106
COOK. W BRIAR
42 MARSH LANE
HYANNIS. MA 02601

Property ID: 324122

COOK. JAN R TR
JAN R COOK TRUST
20 MARSH LANE
HYANNIS. MA

02601